



# CITY OF SACRAMENTO

## DOWNTOWN SPECIFIC PLAN LOADING STUDY

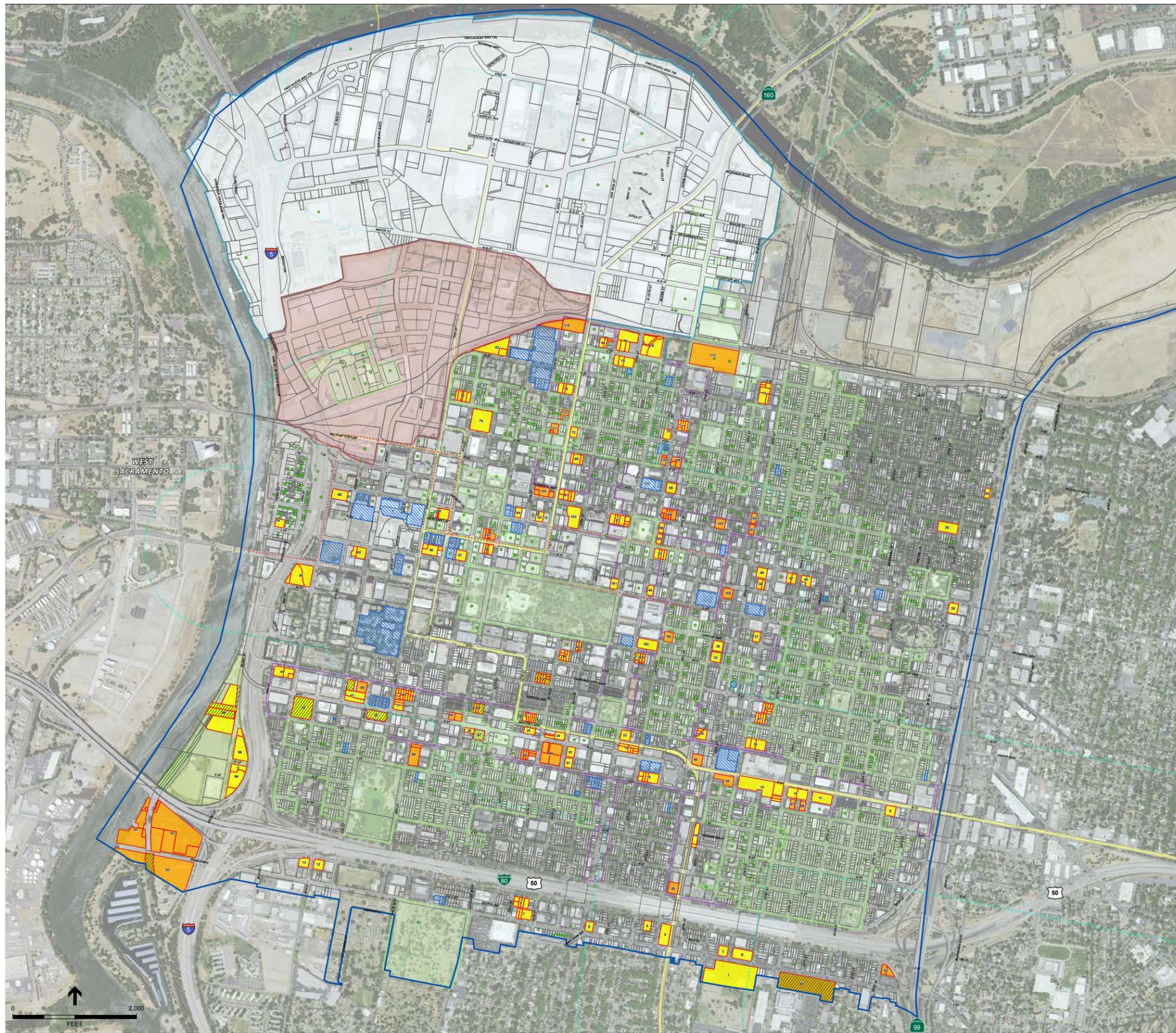
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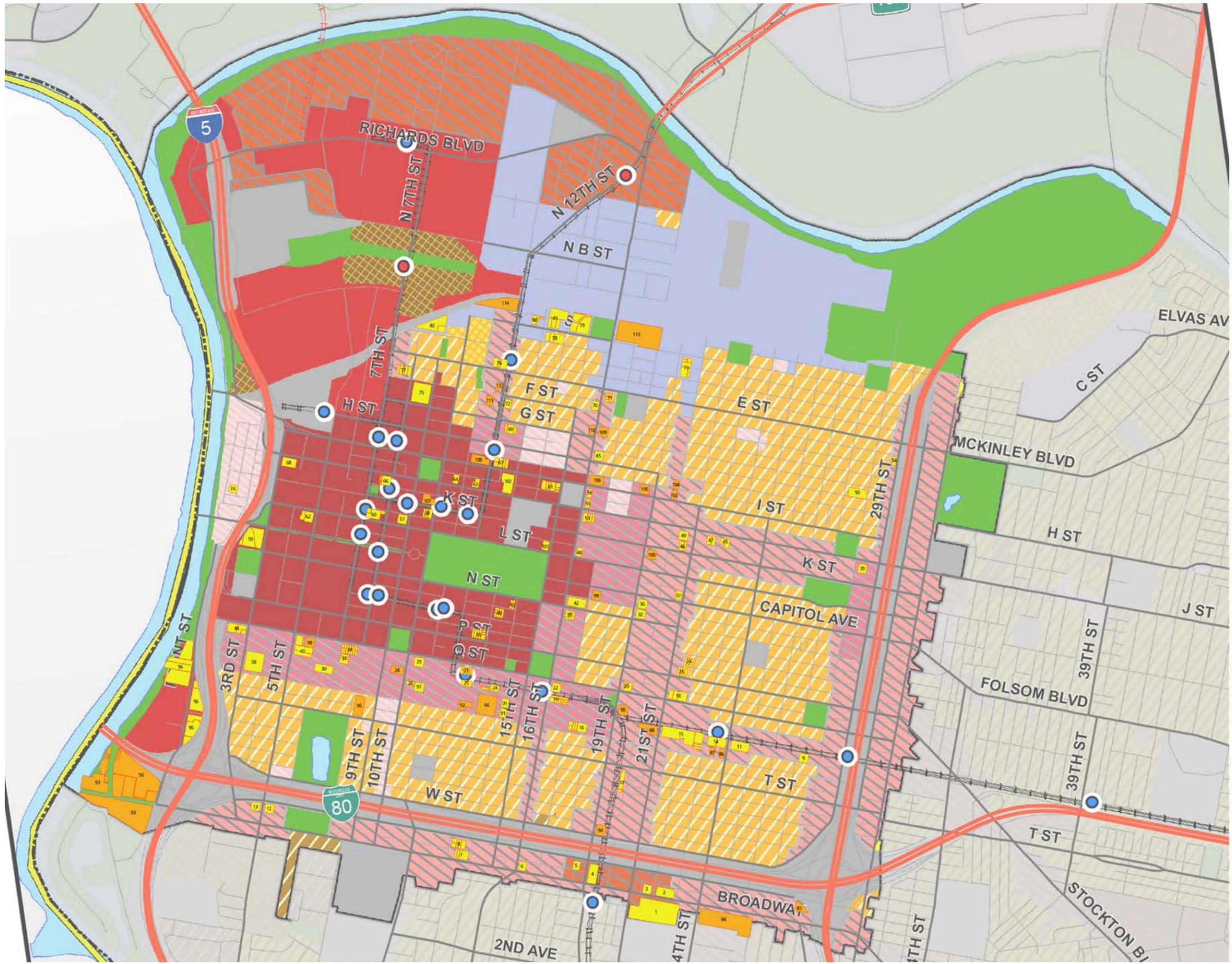
## OPPORTUNITY SITES

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Opportunity site	Estimated Unit Count	Obtained Unit Count
5	44.2	34
12	58.8	73
14	119.9	132
16	115.1	169
19	90.2	157
21	29.7	75
31	102.6	109
42	117.7	141
57	95.4	133
72	41.3	45
73	38.5	40
74	13.5	15
75	371.3	373
77	90.2	27
79	73	72
90	58	61
102	500	542
108	154	142
	2113.4	2306



Opportunity Sites	
Key	
<b>Designations</b>	
	Downtown Specific Plan Boundary
	Proposed Street Car Route
	Light Rail Lines
	One Quarter-Mile Rail Buffer
	State-Owned
	Established Corridors
	Historic Landmark
	Historic District
	Entitlements
<b>Opportunity Sites</b>	
	Tier 1
	Tier 2
<b>Plan Areas</b>	
	River District
	Sacramento Railyards
	Docks



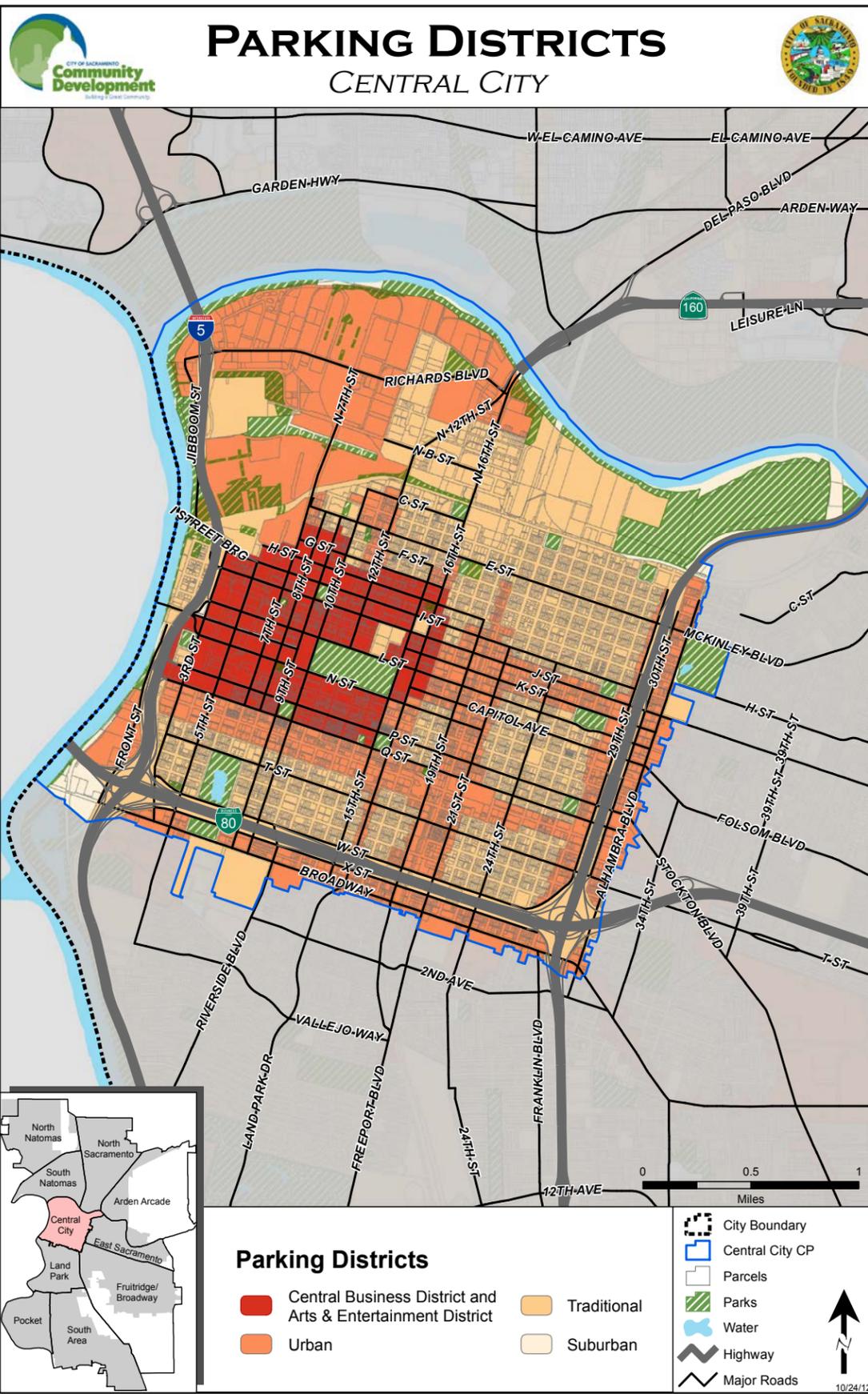
General Plan Designations	
Neighborhood	Allowable Density
<b>Traditional</b>	
Traditional Neighborhood Low	3-8 DU/AC
Traditional Neighborhood Medium	8-36 DU/AC
Traditional Neighborhood High	18-36 DU/AC FAR .5-1.5
<b>Urban</b>	
Urban Neighborhood Low	12-36 DU/AC FAR .5-1.5
Urban Neighborhood Medium	13-110 DU/AC FAR 1.5-4.0
Urban Neighborhood High	61-250 DU/AC FAR 2.0-8.0
<b>Centers</b>	
Suburban Center	15-36 DU/AC FAR .15-2.0
Traditional Center	15-36 DU/AC FAR .3-2.0
Regional Commercial	32-80 DU/AC FAR .15-3.0
Urban Center Low	20-150 DU/AC FAR .4-4.0
Urban Center High	24-250 DU/AC FAR .5-8.0
Central Business District	61-450 DU/AC FAR 3.0-15.0
<b>Corridors</b>	
Suburban Corridor	15-36 DU/AC FAR .15-2.0
Urban Corridor Low	20-110 DU/AC FAR .3-3.0
Urban Corridor High	33-150 DU/AC FAR .3-6.0

## City of Sacramento Zoning Code Regulations

Zone	Height Max	Density Max	Front Set Back	Rear Setback	Street Side Setback	Interior Side Setback	Lot Coverage
<b>Multi-Unit Zone</b>							
R-2A Zone							
R-2B Zone							
R-3 Zone							
R-3A Zone	35'	36 DU/AC	S-U (3') M-U (5') - 25'	15' Min (5' if abuts alley)	S-U (3') M-U (5') - 25'	None *4	60% Max
R-4 Zone	45'	60 DU/AC	S-U (3') M-U (5') - 25'	15' Min (5' if abuts alley)	S-U (3') M-U (5') - 25'	None *5	60% Max
R-4A Zone							
R-5 Zone							
<b>Residential Mixed-Use Zone</b>							
RMX Zone	45'	60 DU/AC	10'-25' (15' encroachment)	15' Min (5' if abuts alley)	10'-25' (15' encroachment)	None *8	
RO Zone							
<b>Commercial, Office, Mixed-Use Zones</b>							
OB Zone	35'	36 DU/AC	0'-25'	15' (0' if abuts alley)	0'-25'	5' (0' if abuts alley)	
OB-2 Zone	120'	60 DU/AC	10'-25' (15' encroachment)	15'	10'-25' (15' encroachment)	None *11	
OB-3 Zone							
EC Zone							
SC Zone							
C-1 Zone							
C-2 Zone	65' *16	Established in GP	0'-25'	None *16	0'-25'	None *16	N/A
C-3 Zone	None *17						
C-4 Zone	75'	60 DU/AC					

## General Plan Designations

Neighborhood	Allowable Density
<b>Traditional</b>	
 Traditional Neighborhood Low	3-8 DU/AC
 Traditional Neighborhood Medium	8-36 DU/AC
 Traditional Neighborhood High	18-36 DU/AC FAR .5-1.5
<b>Urban</b>	
 Urban Neighborhood Low	12-36 DU/AC FAR .5-1.5
 Urban Neighborhood Medium	13-110 DU/AC FAR 1.5-4.0
 Urban Neighborhood High	61-250 DU/AC FAR 2.0-8.0
<b>Centers</b>	
 Suburban Center	15-36 DU/AC FAR .15-2.0
 Traditional Center	15-36 DU/AC FAR .3-2.0
 Regional Commercial	32-80 DU/AC FAR .15-3.0
 Urban Center Low	20-150 DU/AC FAR .4-4.0
 Urban Center High	24-250 DU/AC FAR .5-8.0
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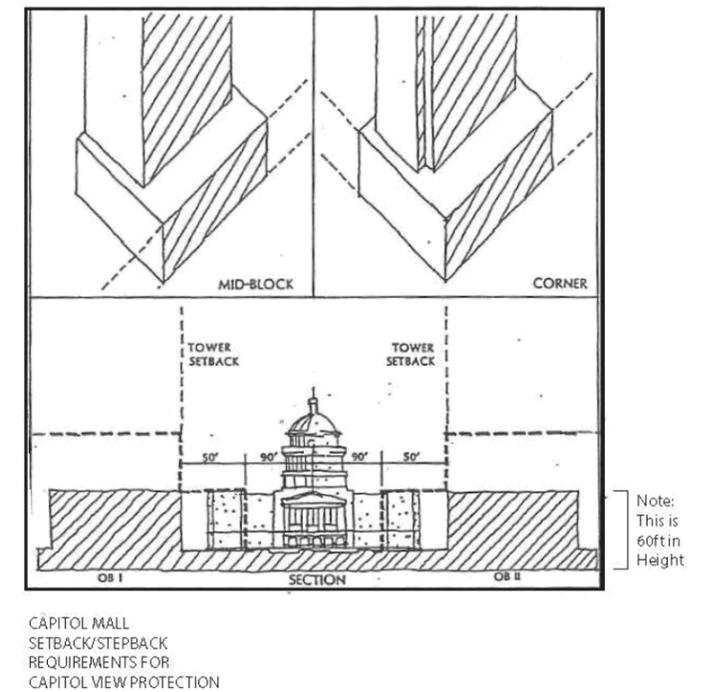
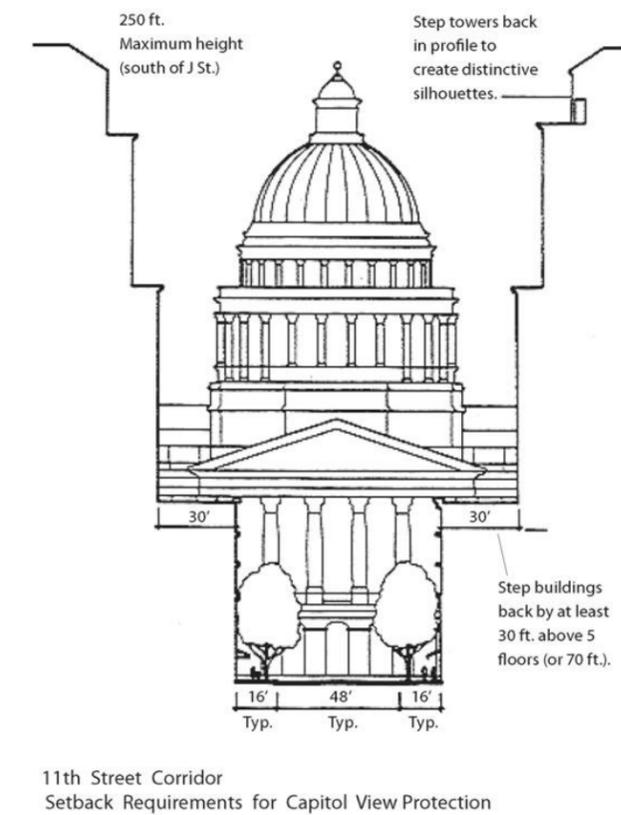
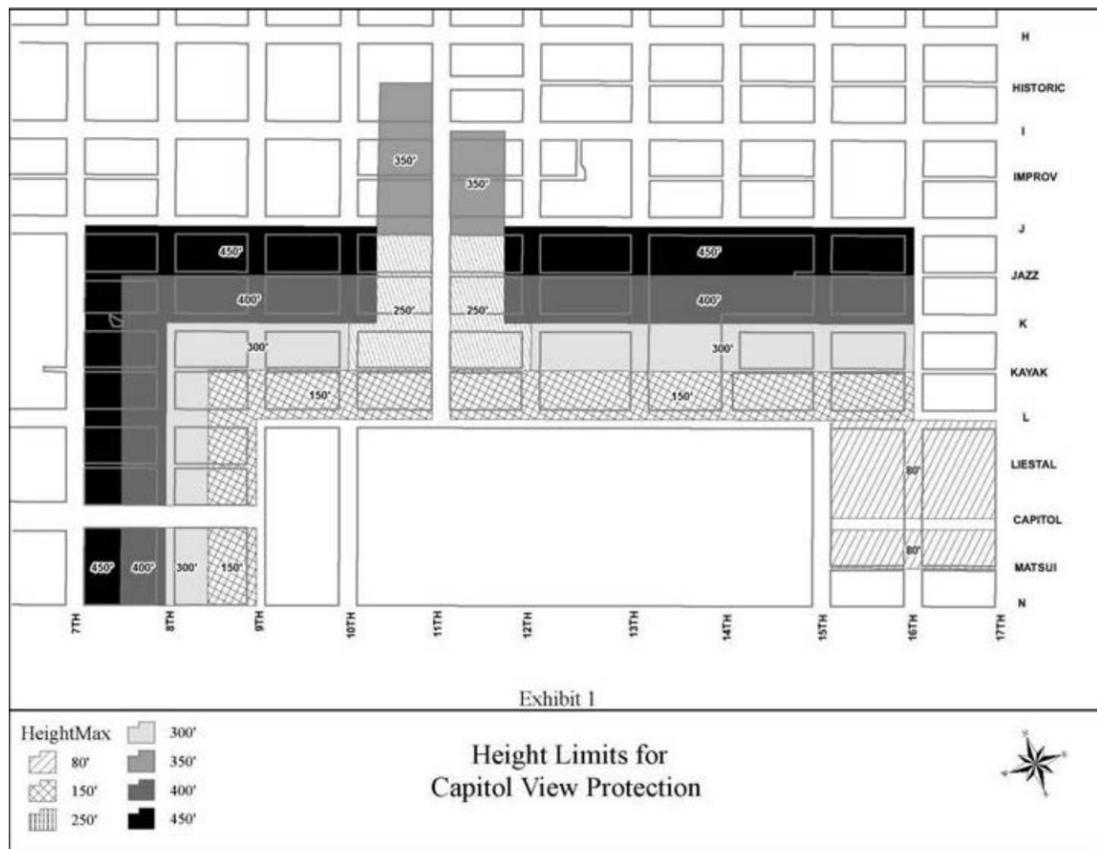
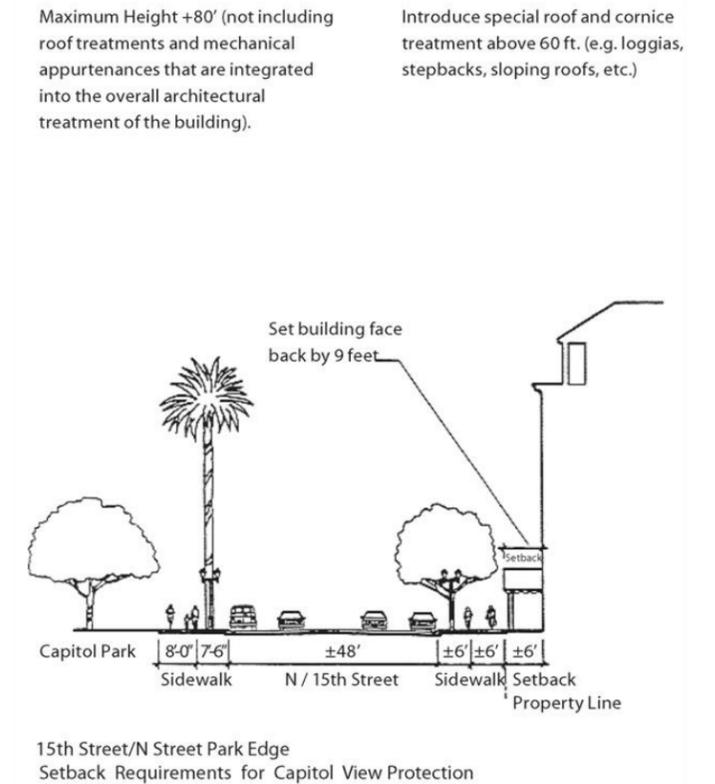
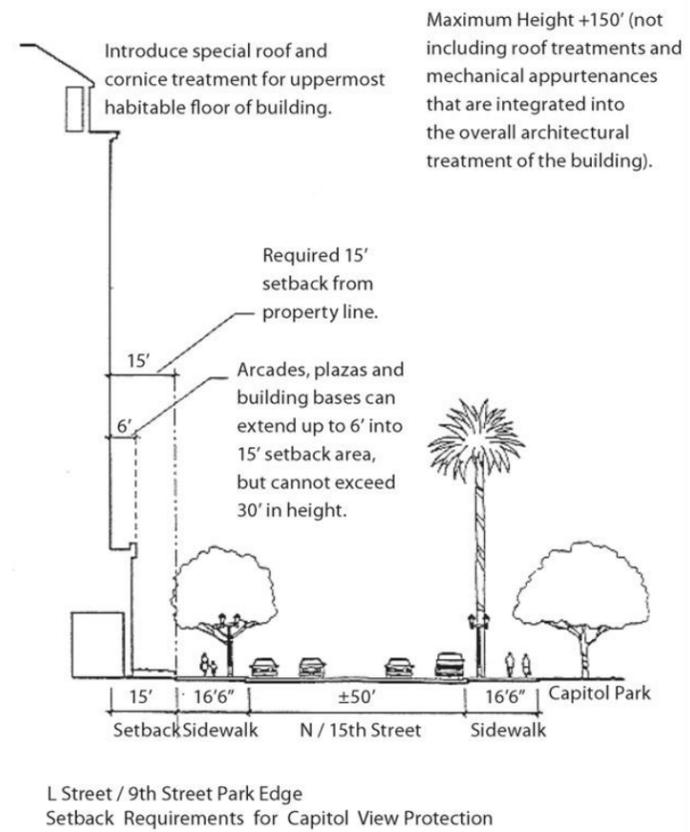
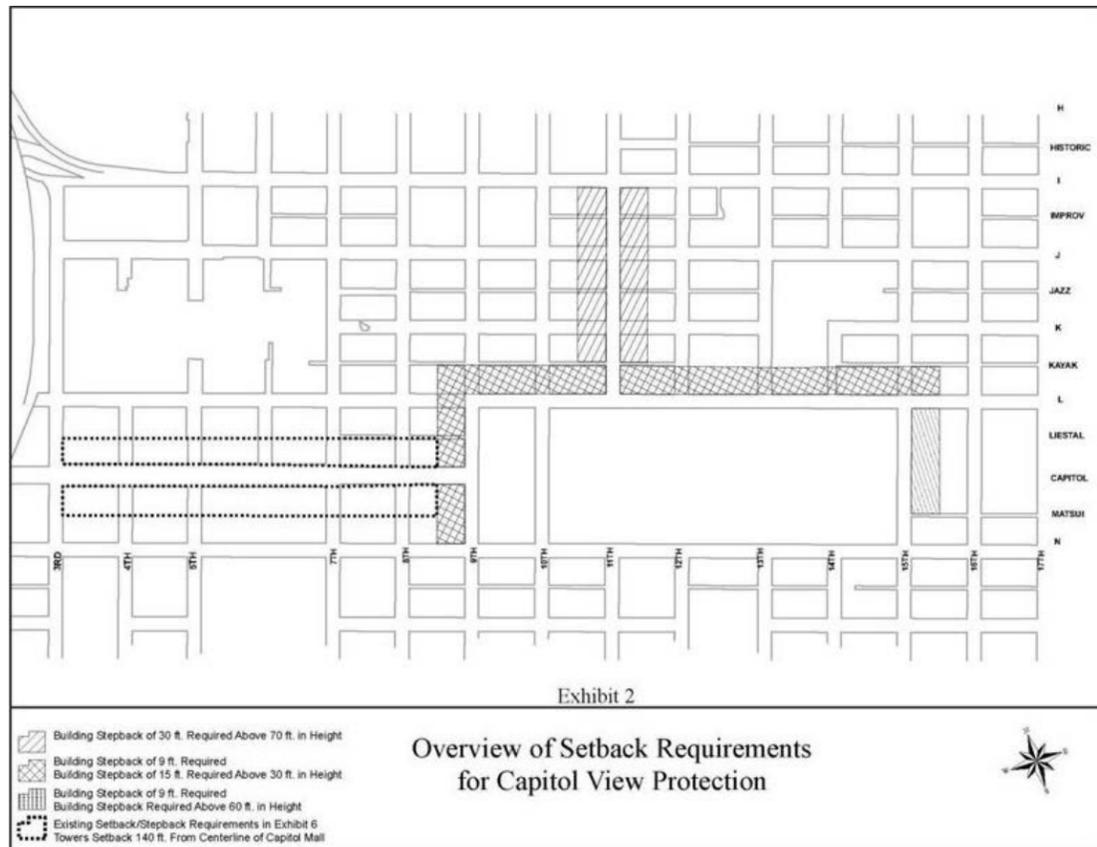


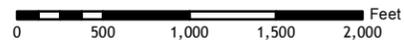
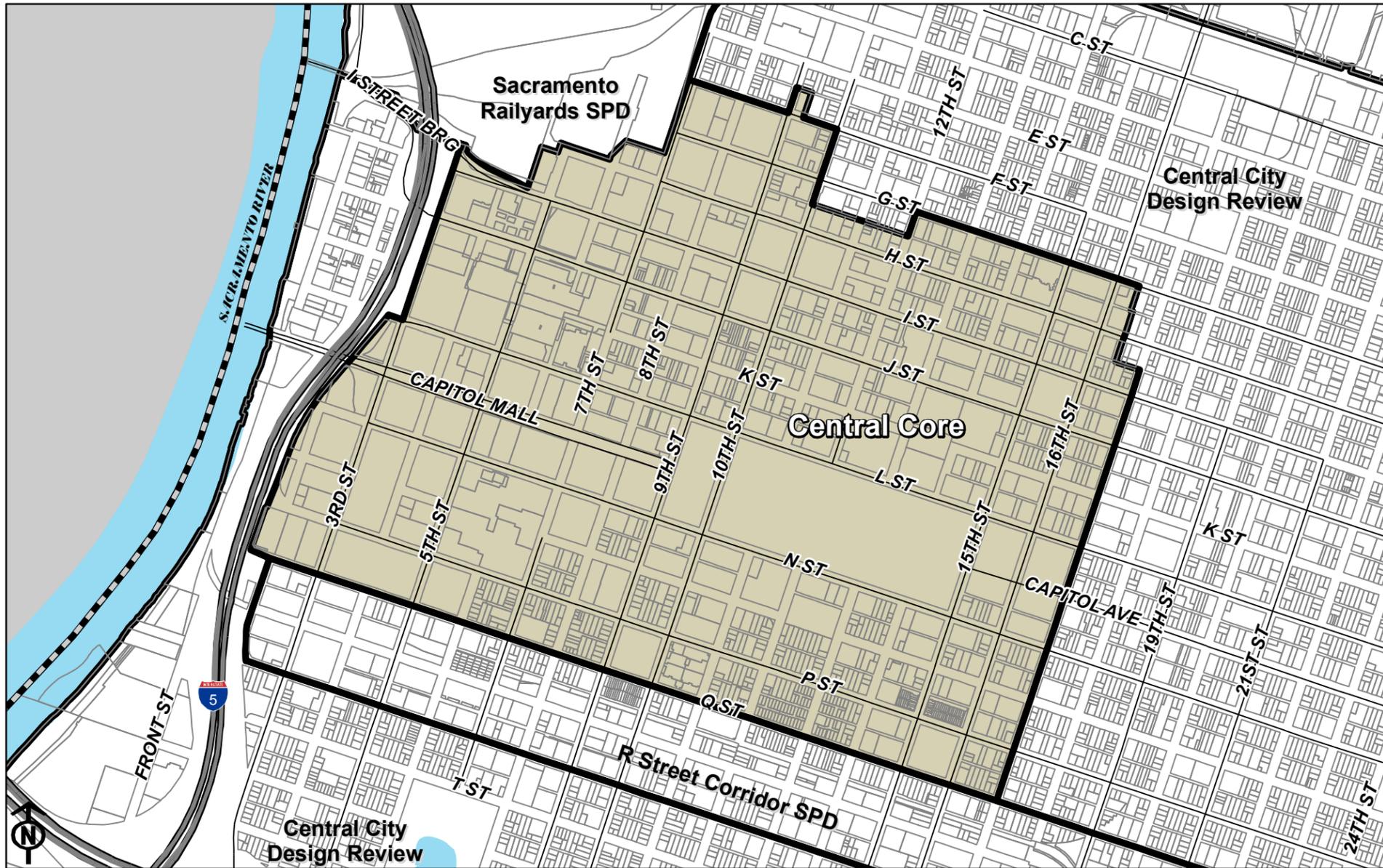
# PARKING DISTRICTS

## CENTRAL CITY

Land Use	Vehicle Parking Requirements by Parking Districts			
	Central Business and Arts & Entertainment District	Urban District	Traditional District	Suburban District
<b>1. Residential Uses</b>				
Single-unit, duplex dwelling	No minimum requirements	1 space per dwelling unit, except on lots equal to or less than 3,200 square feet in the Central City, where there is no minimum requirement	1 space per dwelling unit, except on lots equal to or less than 3,200 square feet in the Central City, where there is no minimum requirement	1 space per dwelling unit
Second residential unit	No minimum requirements	1 space per dwelling unit	1 space per dwelling unit	1 space per dwelling unit
Multi-unit dwelling (3 units or more)	No minimum requirements	0.5 space per dwelling unit	1 space per dwelling unit	1.5 spaces per dwelling unit
Fraternity or sorority house; dormitory	No minimum requirements	1 space per 3 occupants	1 space per 3 occupants	1 space per 3 occupants
Residential hotel (SRO)	No minimum requirements	1 space per 10 dwelling units, plus 1 space for manager	1 space per 10 dwelling units, plus 1 space for manager	1 space per 10 dwelling units, plus 1 space for manager
<b>2. Commercial Uses</b>				
Auto sales lot	No minimum requirements	1 space per 2,000 gross square feet of building	1 space per 500 gross square feet of building	1 space per 500 gross square feet of building
Bed and breakfast inn	No minimum requirements	1 space for resident owner, manager	0.5 space per 2 guest rooms, plus 1 space for resident owner, manager	1 space per 2 guest rooms, plus 1 space for resident owner, manager
Commercial services (except those specifically included in table)	No minimum requirements	1 space per 2,000 gross square feet of building	1 space per 500 gross square feet of building	1 space per 500 gross square feet of building
Hotel	No minimum requirements	No minimum requirements	1 space per 4 guest rooms, plus parking for additional services (conference center, restaurant, etc.)	1 space per 2 guest rooms, plus parking for additional services (conference center, restaurant, etc.)
Motel	No minimum requirements	1 for resident owner, manager	1 space per 2 guest rooms	1 space per guest room
Office, medical clinic or office	No minimum requirements; maximum 2 spaces per 1,000 gross square feet of building	1 space per 2,000 gross square feet of building; maximum 4 spaces per 1,000 gross square feet of building	1 space per 500 gross square feet of building; maximum 1 space per 250 gross square feet of building	1 space per 400 gross square feet of building; maximum 1 space per 250 gross square feet of building
Restaurant; bar; brew pub; wine bar	No minimum requirements	1 space per 2,000 square feet of building	1 space per 500 square feet of building	1 space per 125 gross square feet of building; up to 10% of total building area of a shopping center may be used as restaurant(s) and bar(s) with the parking based on the shopping center as a whole, rather than the above requirements based on square footage of the restaurant or bar
Retail store	No minimum requirements	1 space per 2,000 square feet of building	1 space per 500 square feet of building	1 space per 400 gross square feet of building
Warehouse retail	No minimum requirements	Same as "retail store," except if 50% or more of gross square feet of building is used for warehouse, then retail area shall meet retail ratio, and warehouse area shall meet warehouse ratio	Same as "retail store," except if 50% or more of gross square feet of building is used for warehouse then retail area shall meet retail ratio, and warehouse area shall meet warehouse ratio	Same as "retail store," except if 50% or more of gross square feet of building is used for warehouse then retail area shall meet retail ratio, and warehouse area shall meet warehouse ratio

Land Use	Bicycle Parking Requirements by Parking Districts			
	Central Business and Arts & Entertainment District, Urban District, and Traditional District		Suburban District	
	Long-Term	Short-Term	Long-Term	Short-Term
<b>1. Residential Uses</b>				
Single-unit, duplex dwelling	No spaces required	No spaces required	No spaces required	No spaces required
Second residential unit	No spaces required	No spaces required	No spaces required	No spaces required
Multi-unit dwelling (3 units or more)				
a) With private garage or dedicated storage space for each unit	No spaces required	0.1 space per 10 dwelling units or 2 spaces, whichever is greater	No spaces required	1 space per 2 dwelling units or 2 spaces, whichever is greater
b) Without private garage or dedicated storage space for each unit	1 space per 2 dwelling units or 2 spaces, whichever is greater	1 space per 10 dwelling units or 2 spaces, whichever is greater	1 space per dwelling units or 2 spaces, whichever is greater	1 space per 2 dwelling units or 2 spaces, whichever is greater
Fraternity or sorority house; dormitory	1 space per 2 dwelling units or 2 spaces, whichever is greater	1 space per 10 dwelling units or 2 spaces, whichever is greater	1 space per 2 dwelling units or 2 spaces, whichever is greater	1 space per 2 dwelling units or 2 spaces, whichever is greater
Residential hotel (SRO)	1 space per 2 dwelling units or 2 spaces, whichever is greater	1 space per 10 dwelling units or 2 spaces, whichever is greater	1 space per 2 dwelling units or 2 spaces, whichever is greater	1 space per 2 dwelling units or 2 spaces, whichever is greater
<b>2. Commercial Uses</b>				
Auto sales lot, service	1 space per 10,000 gross square feet of building or 2 spaces, whichever is greater	1 space per 20,000 gross square feet of building or 2 spaces, whichever is greater	1 space per 12,000 gross square feet of building or 2 spaces, whichever is greater	1 space per 20,000 gross square feet of building or 2 spaces, whichever is greater
Bed and breakfast inn	No spaces required	No spaces required	No spaces required	No spaces required
Commercial services (except those specifically included in table)	1 space per 10,000 gross square feet of building or 2 spaces, whichever is greater	1 space per 2,000 gross square feet of building or 2 spaces, whichever is greater	1 space per 12,000 gross square feet of building or 2 spaces, whichever is greater	1 space per 5,000 gross square feet of building or 2 spaces, whichever is greater
Hotel; motel	1 space per 30 rooms or 2 spaces, whichever is greater	1 space per 60 rooms or 2 spaces, whichever is greater	1 space per 40 rooms or 2 spaces, whichever is greater	1 space per 80 rooms or 2 spaces, whichever is greater
Office; medical clinic or office; tutoring center	1 space per 667 gross square feet of building or 2 spaces, whichever is greater	1 space per 20,000 gross square feet of building or 2 spaces, whichever is greater	1 space per 10,000 gross square feet of building or 2 spaces, whichever is greater	1 space per 20,000 gross square feet of building or 2 spaces, whichever is greater
Restaurant; bar; brew pub; wine bar	1 space per 10,000 gross square feet of building or 2 spaces, whichever is greater	1 space per 2,000 gross square feet of building or 2 spaces, whichever is greater	1 space per 12,000 gross square feet of building or 2 spaces, whichever is greater	1 space per 5,000 gross square feet of building or 2 spaces, whichever is greater
Retail store	1 space per 10,000 gross square feet of building or 2 spaces, whichever is greater	1 space per 2,000 gross square feet of building or 2 spaces, whichever is greater	1 space per 12,000 gross square feet of building or 2 spaces, whichever is greater	1 space per 5,000 gross square feet of building or 2 spaces, whichever is greater
Stand-alone parking facility	1 space per 20 vehicle parking spaces or 2 spaces, whichever is greater	No spaces required	1 space per 20 vehicle parking spaces or 2 spaces, whichever is greater	No spaces required

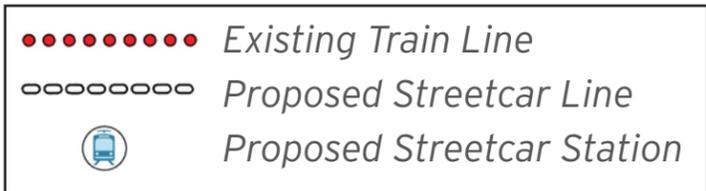
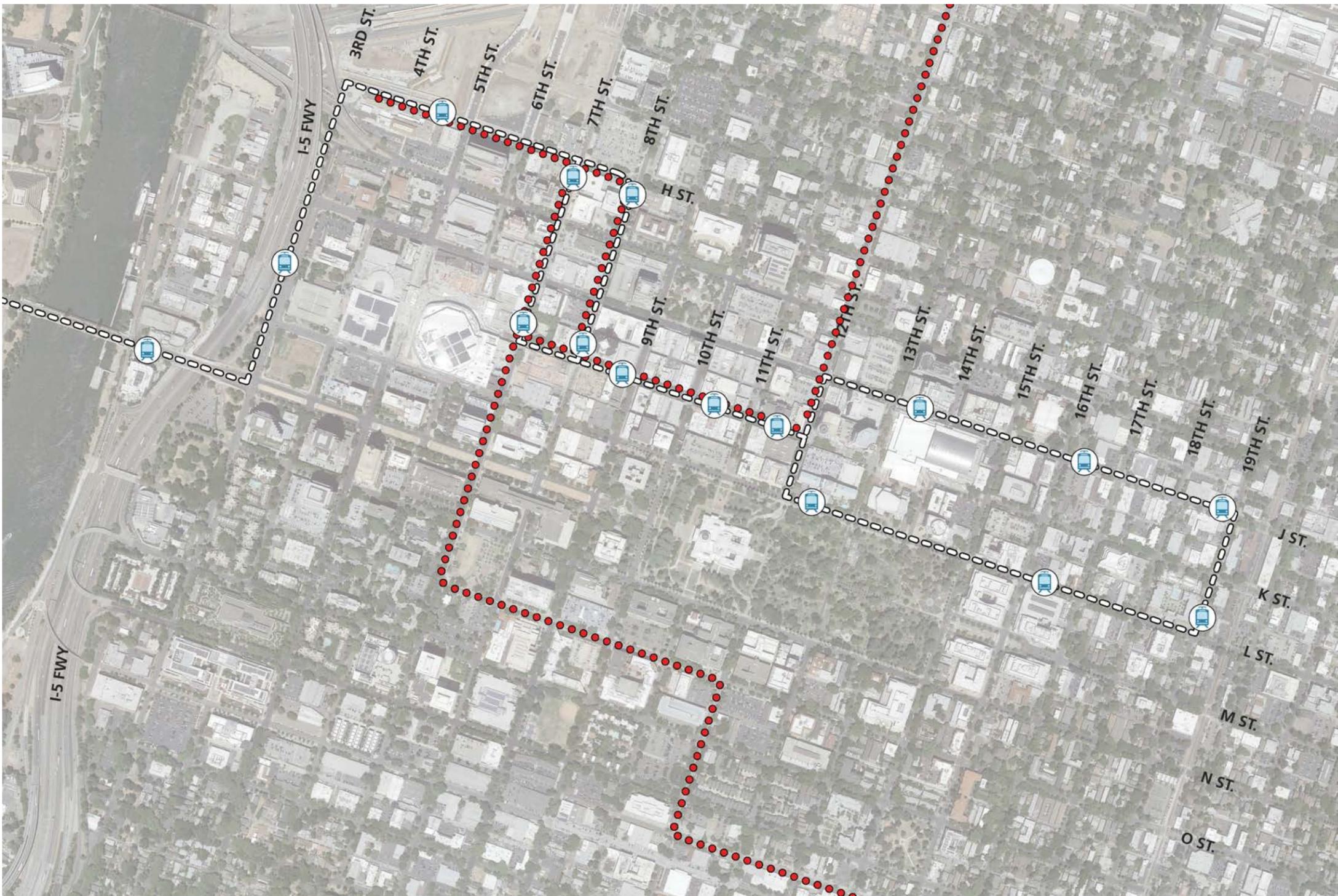




# Central Core Design Review District

-  Central Core
-  City Limits
-  Parcels
-  Major Surface Streets
-  Highways
-  Yolo County

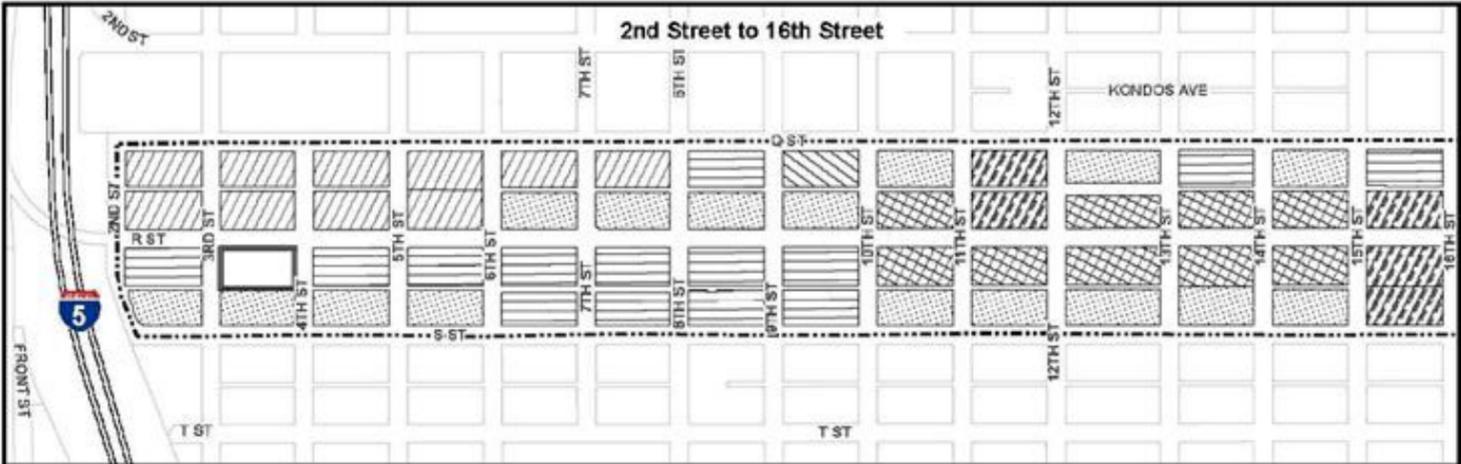
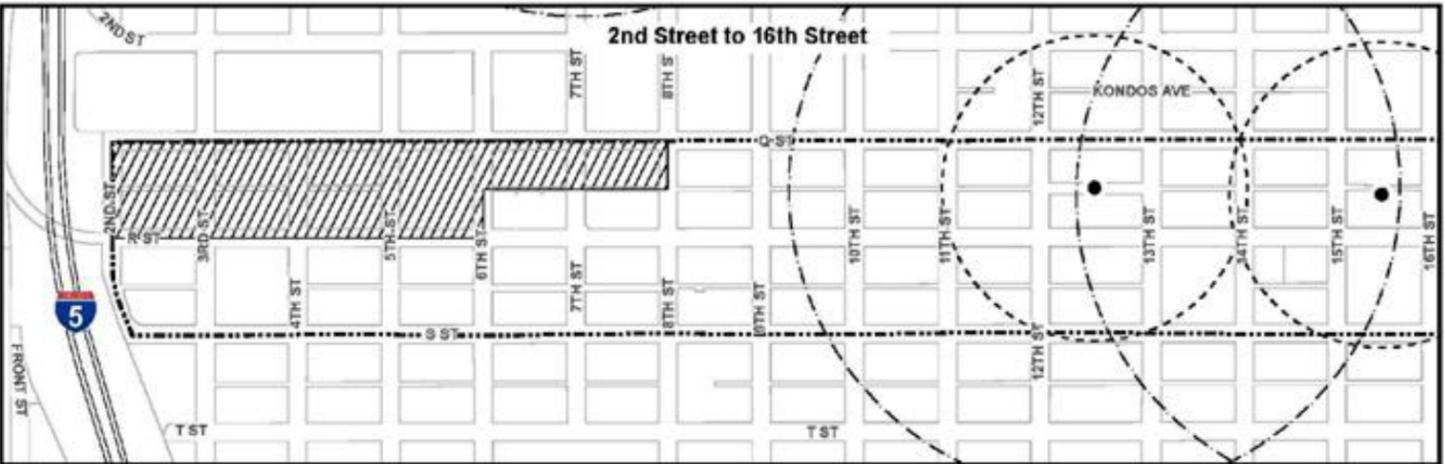
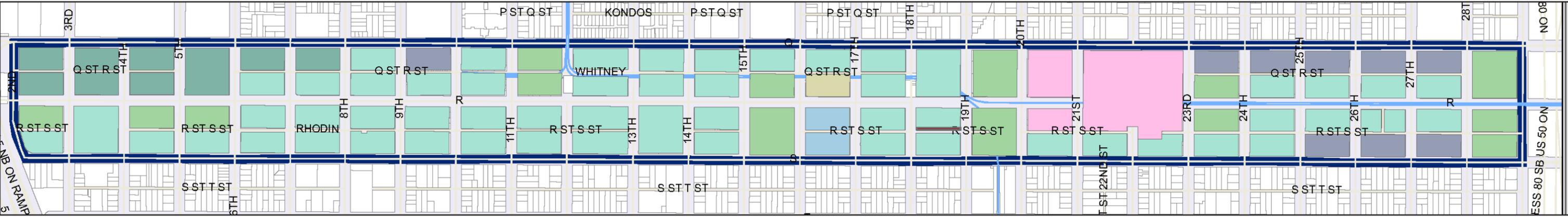
September 2013 CentralCore\_DR



### Legend

#### R Street Zoning

RMX-SPD	C-4-SPD	OB-SPD	R-3A-SPD
C-2-SPD	OB-C-SPD	OB-W-SPD	Light Rail



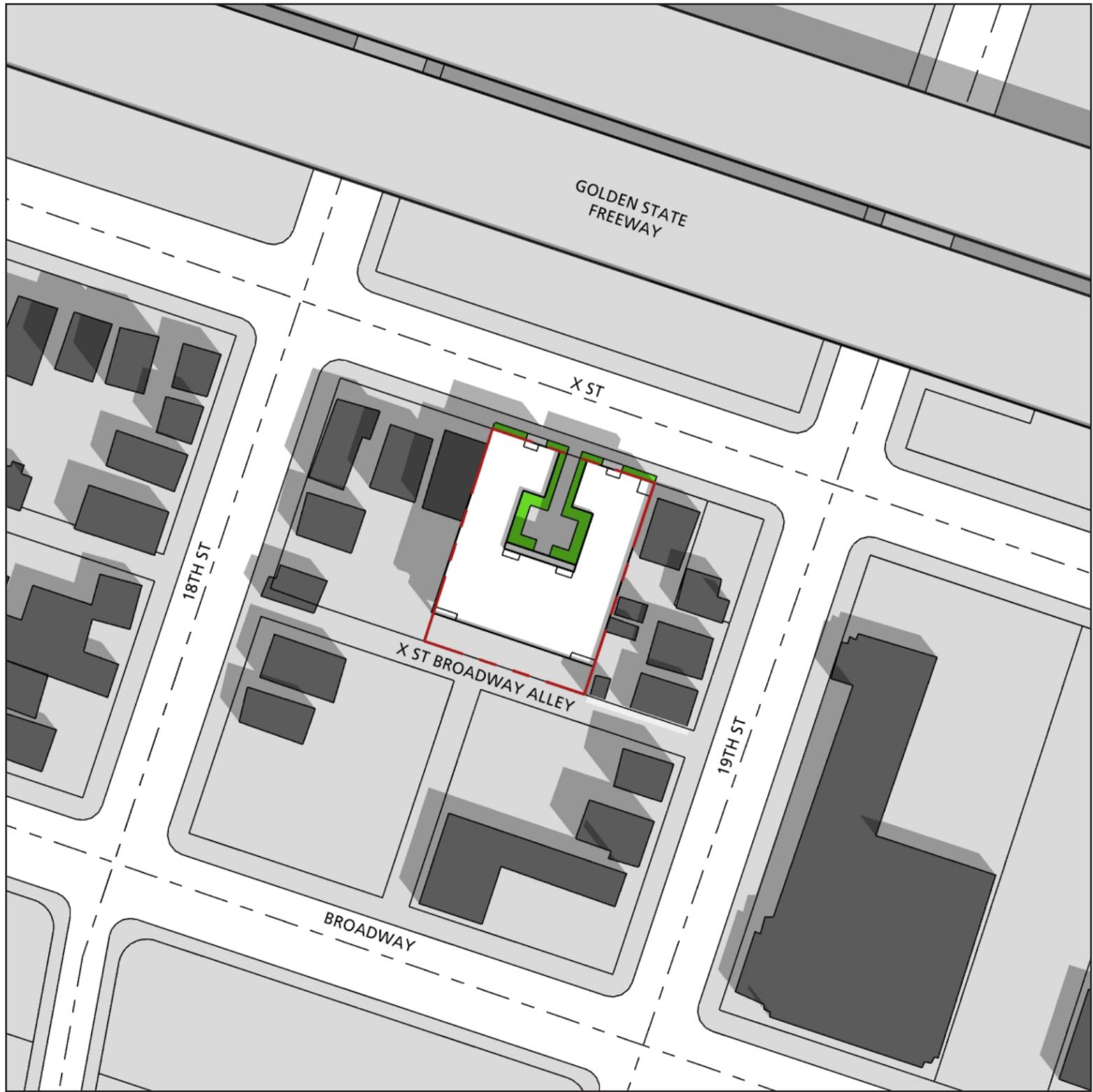
	660' Radius		R-Street Corridor Boundary		Central Area
	1320' Radius		West Area		

0 250 500 1,000 Feet

#### SPD Height Zones

	35 ft		100 ft		75 ft		(b)
	45 ft		(a)		90 ft		R-Street Corridor

0 250 500 1,000 Feet



SITE PLAN



PROPERTY INFORMATION							
SITE AREA	ZONE	GENERAL PLAN	SPD	PARKING REQUIRED	HEIGHT ALLOWED	DENSITY ALLOWED	ESTIMATED UNITS
19,222	RO	Urban Center Low	None	17	35'	36 DU/AC (Z) 20 - 150 (GP) FAR .4 - 4.0 (GP)	44.2

BUILDING INFORMATION							
FLOOR AREA	USAGE	COUNT	FAR	PARKING PROVIDED	HEIGHT OBTAINED	DENSITY OBTAINED	LOT COVERAGE
34,097	Residential	34					
34,097		34	1.77	24	34' -3"	77 DU/AC 1.73 FAR	73%
7,320	Parking	24					

GENERAL PLAN DESIGNATION MAP



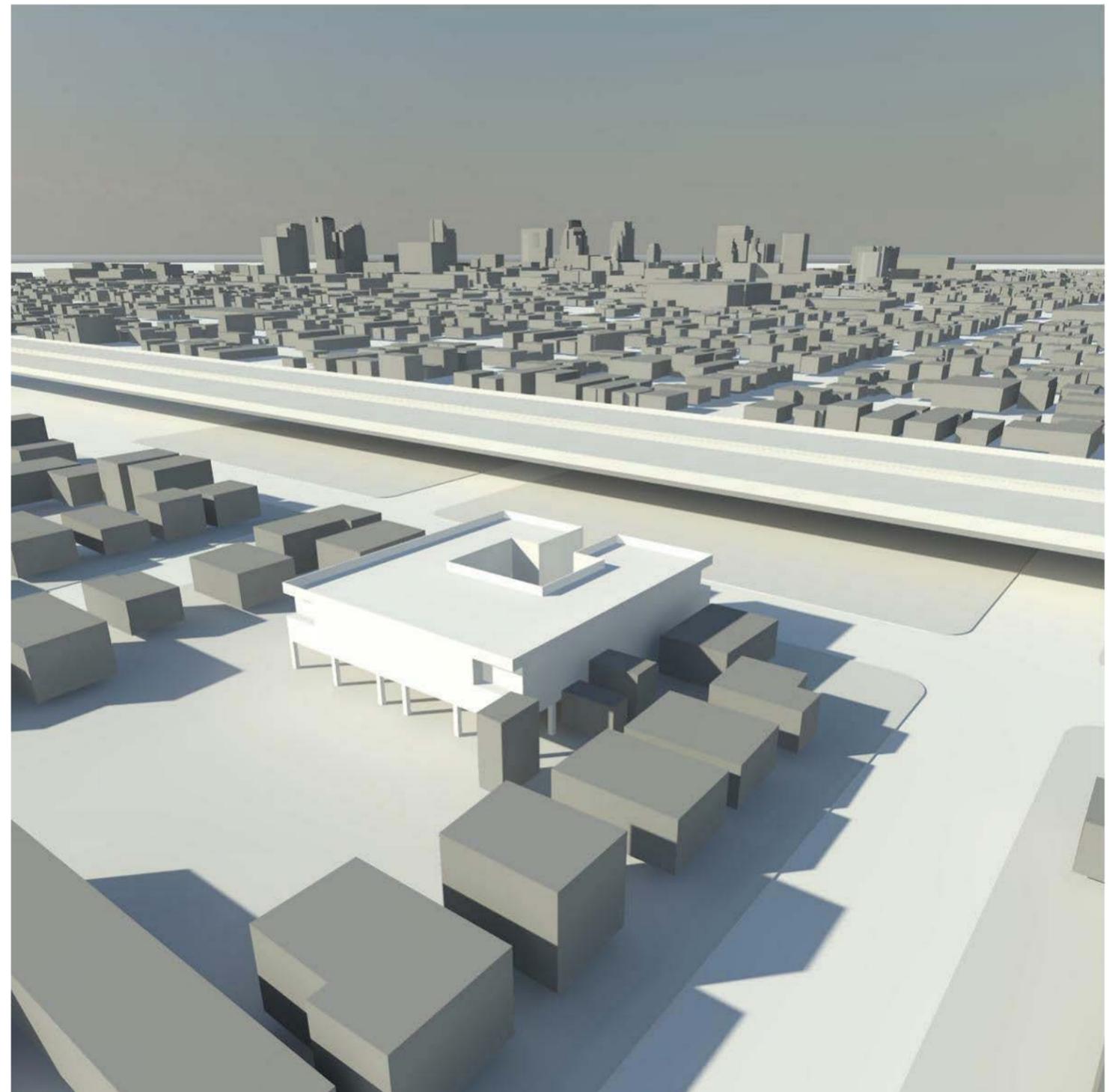
OPPORTUNITY SITE MAP



Opportunity Site 5



RENDERED VIEW 1



RENDERED VIEW 2

*Opportunity Site 5*

## BUILDING INFORMATION

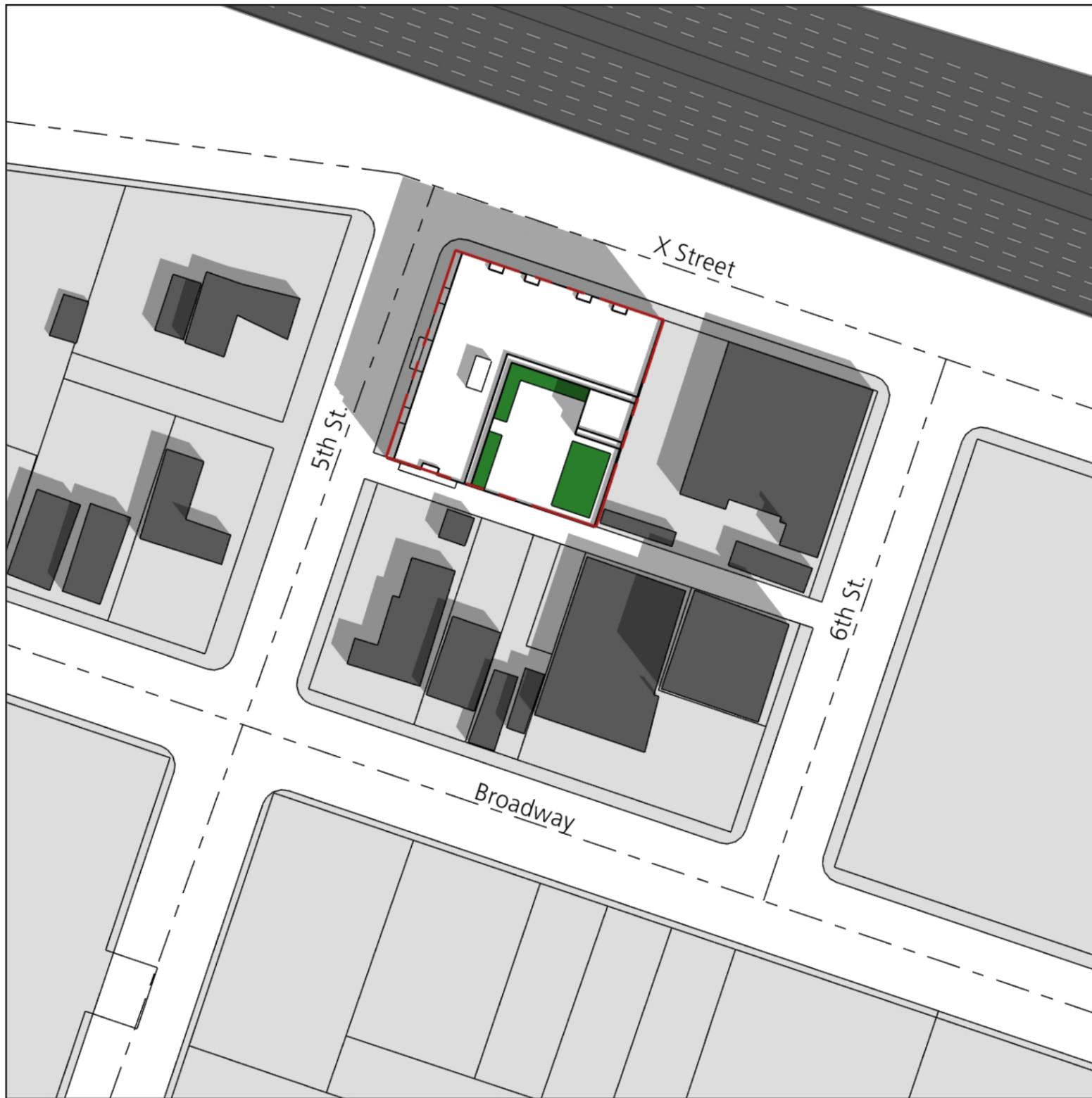
BUILDING HEIGHT:	Per RO zone, maximum building height is 35'. Building Height obtained 34'-3"
BUILDING STORIES:	The building is 3 stories of residential
SETBACKS:	Per RO zone: Front setback of 15', an average of adjacent residential properties. There is no minimum interior side-yard setback. 5' rear-yard setback that abuts a public alley.
STEPBACKS:	None required
DENSITY:	The density is 77 dwelling units per acre
LOT COVERAGE:	The building covers 73% of the lot. An open courtyard is provided
PARCELS:	Opportunity site 5 includes 1 parcel.
PARKING:	Per Central City Parking Requirements .5 Spaces of parking required in the Urban District for multi-unit dwellings. 17 spaces required, 22 spaces of surface parking provided
ESTIMATED UNIT COUNT:	The estimated unit count is 34 Units assuming an average unit size of 1,000 sf
RETAIL:	None
OVERLAY ZONES & SPD:	None

## DESIGN RATIONALE

The building take a single loaded C shape form with an open courtyard. The courtyard faces north-east towards X Street. Retail was not incorporated in this loading study due to the high concentration of residential in the area. Surface parking was incorporated by setting back the ground floor and creating an overhang of the 2nd and 3rd floor. Parking is accessible off of the alley in the rear of the building.

## SITE RECOMMENDATIONS

The site only allows for twice as much density as provided, but it is not capable of reaching that density due to the height restriction.



SITE PLAN



PROPERTY INFORMATION							
SITE AREA	ZONE	GENERAL PLAN	SPD	PARKING REQUIRED	HEIGHT ALLOWED	DENSITY ALLOWED	ESTIMATED UNITS
25,598	C-4 Re-Zoned C-2	Urban Corridor Low	None	38	65' - 0"	20 - 110 .4 - 3.0	58.8

BUILDING INFORMATION							
FLOOR AREA	USAGE	COUNT	FAR	PARKING PROVIDED	HEIGHT OBTAINED	DENSITY OBTAINED	LOT COVERAGE
0	Hotel	0.0	2.98	45	55' - 9"	124	100%
0	Office	0.0					
73,008	Residential	73					
3,348	Retail	-					
76,356		73					
15,635	Parking	45					

GENERAL PLAN DESIGNATION MAP



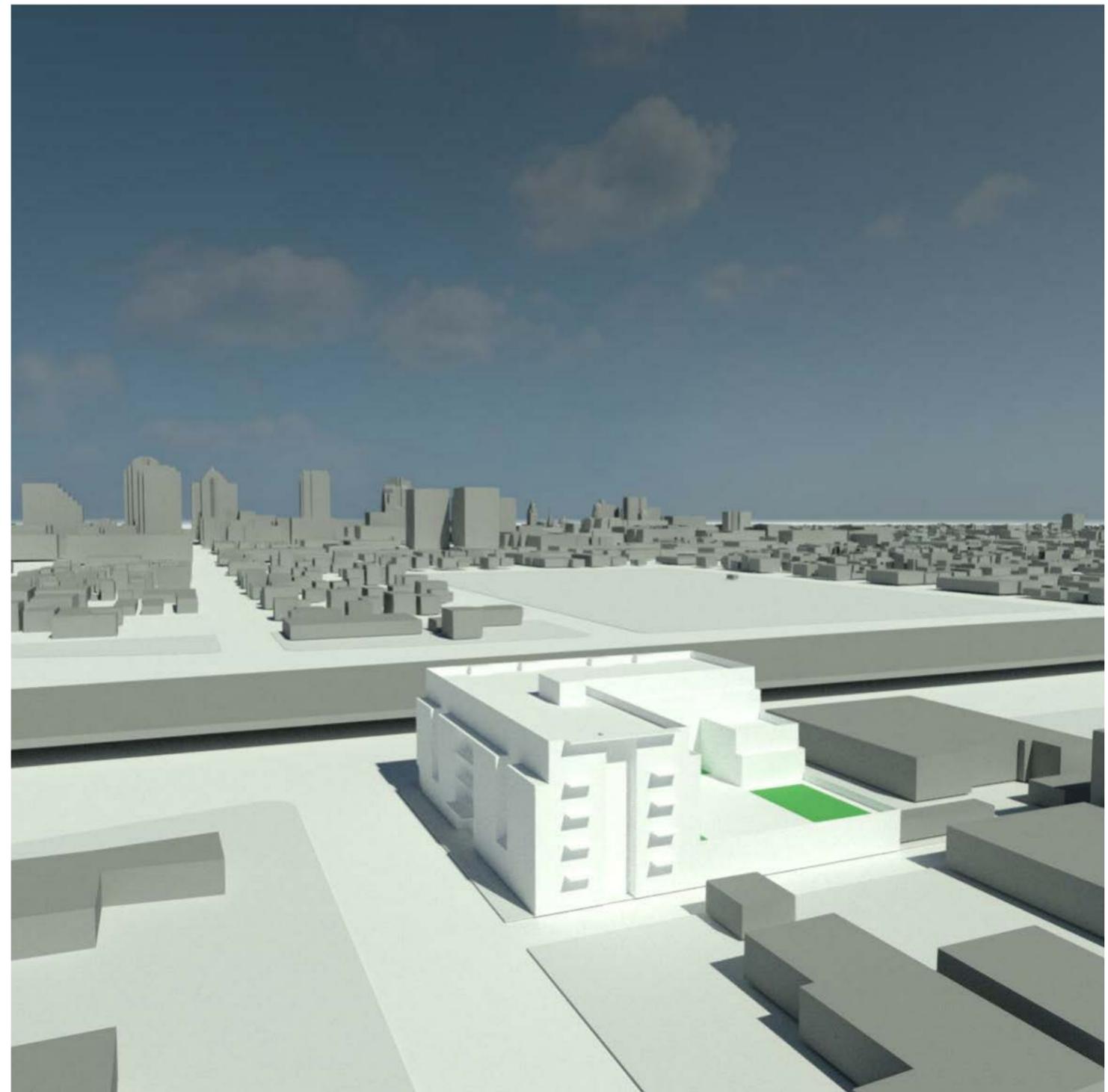
OPPORTUNITY SITE MAP



Opportunity Site 12



RENDERED VIEW 1



RENDERED VIEW 2

*Opportunity Site 12*

## BUILDING INFORMATION

BUILDING HEIGHT:	The maximum height is 65 feet. (No portion of building falls within a transitional height zone in which proximity to a R-1, R-1B or R-2 zone would effect maximum allowable height.)
BUILDING STORIES:	Five stories. Four residential levels over ground floor retail. <b>Front-Yard Setback:</b> No Minimum. Maximum is 25 feet
SETBACKS:	<b>Street Side-Yard Setback:</b> No Minimum. Maximum is 25 feet <b>Interior Side-Yard Setback:</b> None Required <b>Rear-Yard Setback:</b> None Required
STEPBACKS:	None required
DENSITY:	Density set forth in <i>Figure CC-2 General Plan Land Use &amp; Urban Form Designations Urban Corridor Low</i> : 20-110 dwelling units per acre / 0.3-3.0 FAR
LOT COVERAGE:	There is no lot coverage requirement.
PARCELS:	Opportunity site is comprised of a single parcel. Currently in use by an auto repair shop. Parking requirements set forth in <i>Chapter 17.608</i> of the <i>Sacramento City Code</i> : Site is located in the <i>Urban District</i> - <b>Multi Unit Dwelling</b> = .5 space per dwelling unit - <b>Retail Store</b> = 1 space per 2,000 square feet of building
PARKING:	Provided: 45 parking spaces totaling 15,635 sf. One level of parking podium with an amenity deck
ESTIMATED UNIT COUNT:	Opportunity Sites Unit Estimate: 58.8 Units
RETAIL:	3,348 sf of retail provided at the intersection of X St. and 5th St. (No retail requirements)
OVERLAY ZONES & SPD:	None

## DESIGN RATIONALE

**Zoning Purpose:** The purpose of the C-2 zone is to provide for the sale of goods; the performance of services, including repair facilities; office uses; dwellings; small wholesale stores or distributors; and limited processing and packaging. *17.216.700*

**Zoning Permitted Uses:** Applicable uses are as follows *17.216.710*  
Dwelling, multi-unit  
Retail store

The site has the capacity to have more dwelling units and still comply with the maximum height, but the FAR of 3.0 does permit a higher density than what is shown.

The building has a C-Shape that opens up to the alley. This creates spatial definition on both X St. and 5th St. as well as allowing more sun to enter the open courtyard. The majority of the dwelling units are concentrated on the double loaded wing along 5th St. The single loaded wing on the interior of the site is one story shorter than the rest of the building not only to comply with the FAR maximums, but to allow more sun to reach the rest of the building. The 5th St. wing is the entrance to the residential portion of the building and has a recession in the facade to indicate the lobby entrance.

The ground floor of the 5th St. wing is single loaded to accommodate the parking podium. The parking Podium has an amenity deck accesible to the entire building.

## SITE RECOMMENDATIONS

Opportunity Site 12 is currently zoned as C-4. Residential use in the C-4 zone is not permitted by right. Recommend re-zoning to C-2, General Commercial Zone. Parcels on south side of Broadway and North side of Highway 305 are zoned as C-2.



SITE PLAN



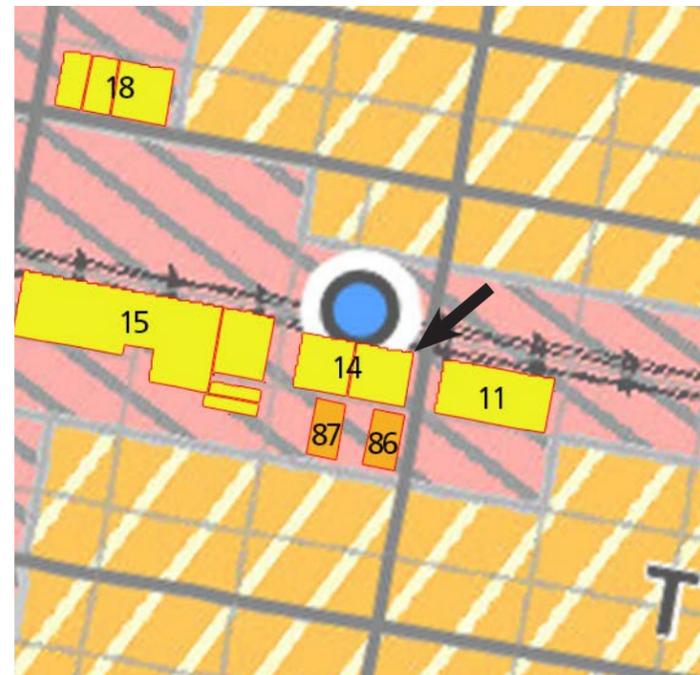
PROPERTY INFORMATION

TE AREA	ZONE	GENERAL PLAN	SPD	PARKING REQUIRED	HEIGHT ALLOWED	DENSITY ALLOWED	ESTIMATED UNITS
52,243	C-2	Urban Corridor Low	R Street	70	45'-0"	20 -110 FAR 3.0 - 3.0	119.9

BUILDING INFORMATION

FLOOR AREA	USAGE	UNIT COUNT	FAR	PARKING PROVIDED	HEIGHT OBTAINED	DENSITY OBTAINED	LOT COVERAGE
0	Hotel	0					
0	Office	0					
132,236	Residential	132	2.70	92	45' - 0"	110	100%
8,944	Retail	-					
141,180							
32,067	Parking	92					

GENERAL PLAN DESIGNATION MAP



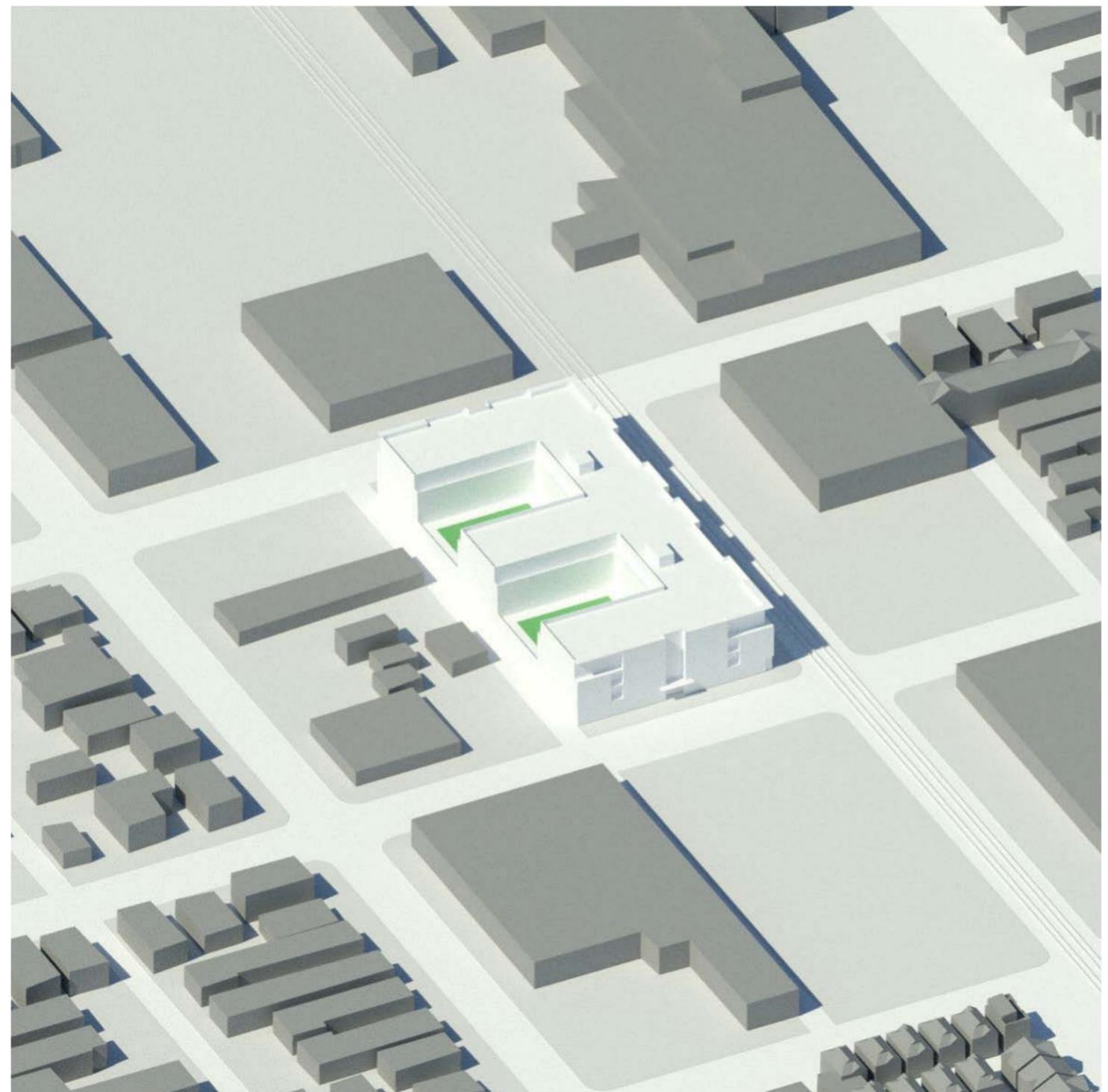
OPPORTUNITY SITE MAP



Opportunity Site 14



RENDERED VIEW 1



RENDERED VIEW 2

*Opportunity Site 14*

## BUILDING INFORMATION

BUILDING HEIGHT:	Within R Street Corridor SPD the maximum height in the C-2 zone at this location is 45 feet. Any deviation from the height standard is subject to commission level review, and may not exceed 75 feet.
BUILDING STORIES:	4 stories. 3 residential stories over ground level retail.
SETBACKS:	No minimum front, side or rear setbacks.
STEPBACKS:	No setbacks required.
DENSITY:	Density allowed between 20-110 DU/AC. Maximum density obtained 110 DU/AC.
LOT COVERAGE:	No lot coverage requirement. 100% lot covered.
PARCELS:	2 parcels located on site.
PARKING:	92 parking stalls located at ground level.
ESTIMATED UNIT COUNT:	Estimated unit count of 119.9 units. Current Proposed unit count at 132.
RETAIL:	Retail located along R Street.
OVERLAY ZONES & SPD:	R Street Corridor

## DESIGN RATIONALE

The purpose of the C-2 zone is to provide for the sale of goods; the performance of services, including repair facilities; office uses; dwellings; small wholesale stores or distributors; and limited processing and packaging.

The site sits along the R Street Corridor's railway. At the ground level limited retail is provided to activate the R street edge. Ground level parking occupies the rest of site. Three levels of double loaded residential bars sit atop the podium to form an "E" shape that faces south allowing for residential amenity decks.

With commission level review, the massing can exceed the 45' height limitation up to 75' and free up some of the lot coverage which is maxed out at 100%.

## SITE RECOMMENDATIONS

Estimated unit count 110 is exceeded with a proposed unit count of 132. The site provides limited parking for the units, which should be reviewed.

If the site is to be utilized for mixed use residential purposes, the height limit of 75' should be allowed as a deviation up to 75' to align with adjacent RMX-SPD zones (75' max height within R-Street Corridor).

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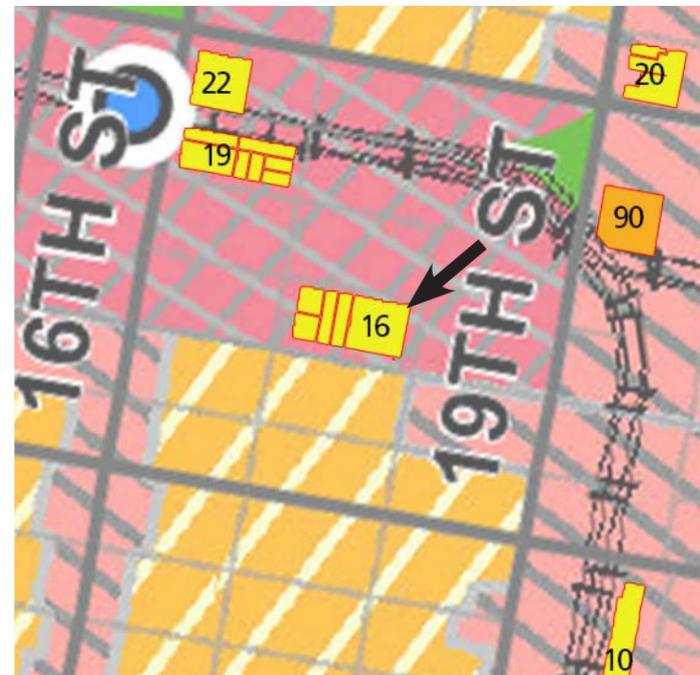


SITE PLAN

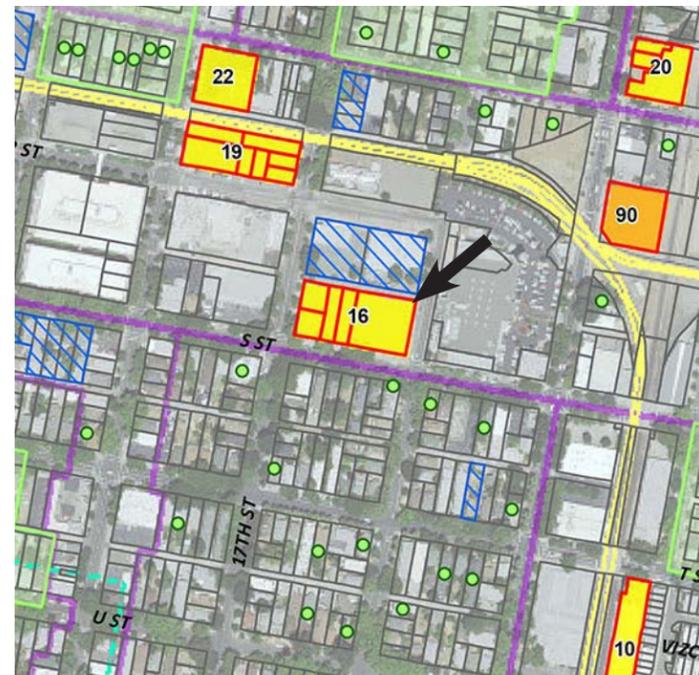


PROPERTY INFORMATION							
SITE AREA	ZONE	GENERAL PLAN	SPD	PARKING REQUIRED	HEIGHT ALLOWED	DENSITY ALLOWED	ESTIMATED UNITS
50,142	RMX-SPD	Urban Corridr High	R Street	92.1	45'-0" (Z) 75' - 0" (SPD)	60 DU/AC (Z) '33-150 (GP) FAR .3 - 6.0 (GP)	115.1
BUILDING INFORMATION							
FLOOR AREA	USAGE	UNIT COUNT	FAR	PARKING PROVIDED	HEIGHT OBTAINED	DENSITY OBTAINED	LOT COVERAGE
0	Hotel	0	3.69	140	74' -9"	147	84%
0	Office	0					
169,730	Residential	169					
15,294	Retail	-					
185,024		169					
49,074	Parking	140					

GENERAL PLAN DESIGNATION MAP



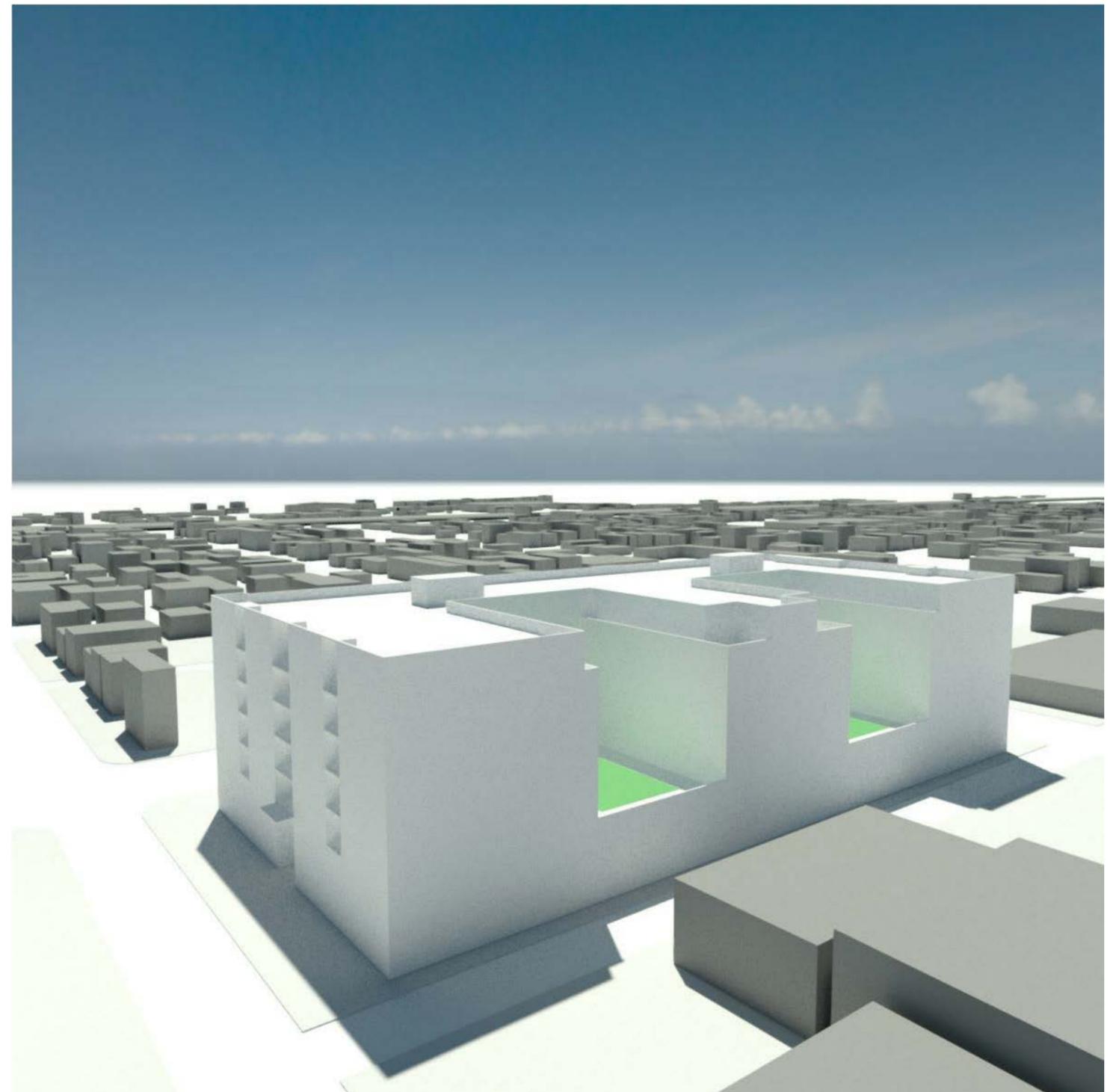
OPPORTUNITY SITE MAP



Opportunity Site 16



RENDERED VIEW 1



RENDERED VIEW 2

**BUILDING INFORMATION**

BUILDING HEIGHT:	Per RMX-SPD zone, maximum building height is 75'. Building Height obtained 74'-9"
BUILDING STORIES:	The building is 7 stories. 5 stories of residential over 2 levels of parking. The Ground floor is lined with 1 clear story of residential that aligns the height of the 2-story parking
SETBACKS:	Per RMX zone: front setback of 10' - 25' required. Front setback provided 10'. Encroachment of storefront canopy. Rear-yard abuts public alley setback of 5'
STEPBACKS:	None Required. Stepbacks on S Street as well as at the top floor on the interior of the courtyard.
DENSITY:	The allowable density set forth in the General Plan is 33-150 dwelling units per acre. The achieved density is 147 dwelling units per acre.
LOT COVERAGE:	Due to the required setbacks, the lot coverage is 84%
PARCELS:	Opportunity site 16 includes 5 parcels adjacent parcels bound by 17th, 18th and S Street
PARKING:	Set forth in the Central City parking requirements, 1 space per 2000 sf of retail and .5 spaces per residential unit are required. 93 spaces are required for the 169 residential units and 15,294 sf of retail. 140 spaces are provided in a two-story parking structure.
ESTIMATED UNIT COUNT:	The estimated unit count is 69 Units assuming an average unit size of 1,000 sf
RETAIL:	15,294 sf of ground floor retail divided between the corner of Street and 17th Street as well as S Street and 18th Street
OVERLAY ZONES & SPD:	This site falls in the R-Street Corridor SPD. The R-Street SPD overlay allows for a building height of 75'

**DESIGN RATIONALE**

Site Strategy Narrative

Building form takes an E shape with two open courtyards facing North-East. The E-Shape allows for multiple views of downtown and the capitol. Retail is incorporated on the intersection of 17th and 18th street with S Street. Focusing the retail on 17th and 18th street rather than the more residential corridor of S Street. Stepbacks along S Street occur above the retail portion of the building and provide architectural interest and reflect the overall massing of the building. Stepbacks at the top floor on the interior of the courtyard allow for more light to reach the courtyard as well as providing a balcony space for the top floor units.

**SITE RECOMMENDATIONS**

The Site is located in the RMX-SPD zone of the R-Street Corridor. The site is also greater than 1/4 mile from a light rail station. The distance from the light rail station limits the density to 15-60 DU/AC. The Density allowed in the General Plan through the Urban Corridor High designation is 33-150 DU/AC. The building height allowed in the RMX-SPD (R-Street Corridor) is 75'. The standard RMX zone has a building height maximum of 45' and a density maximum of 60 DU/AC. It is recommended to increase the allowable density in the R-Street Corridor.



SITE PLAN



PROPERTY INFORMATION							
SITE AREA	ZONE	GENERAL PLAN	SPD	PARKING REQUIRED	HEIGHT ALLOWED	DENSITY ALLOWED	ESTIMATED UNITS
39,301	OB-SPD(C)	Urban Center High	R-Street	87	35' (Z) 75' (SPD)	36 DU/AC (Z) 33 - 150 DU/AC (GP) FAR .3 - 6.0 (GP)	90.2
BUILDING INFORMATION							
FLOOR AREA	USAGE	COUNT	FAR	PARKING PROVIDED	HEIGHT OBTAINED	DENSITY OBTAINED	LOT COVERAGE
0	Hotel	0.0					
0	Office	0.0					
157,885	Residential	157	4.44	93	74' -9"	174 DU/AC	Obtained: 95%
16,453	Retail	-					
174,338		157					
37,220	Parking	93					

GENERAL PLAN DESIGNATION MAP



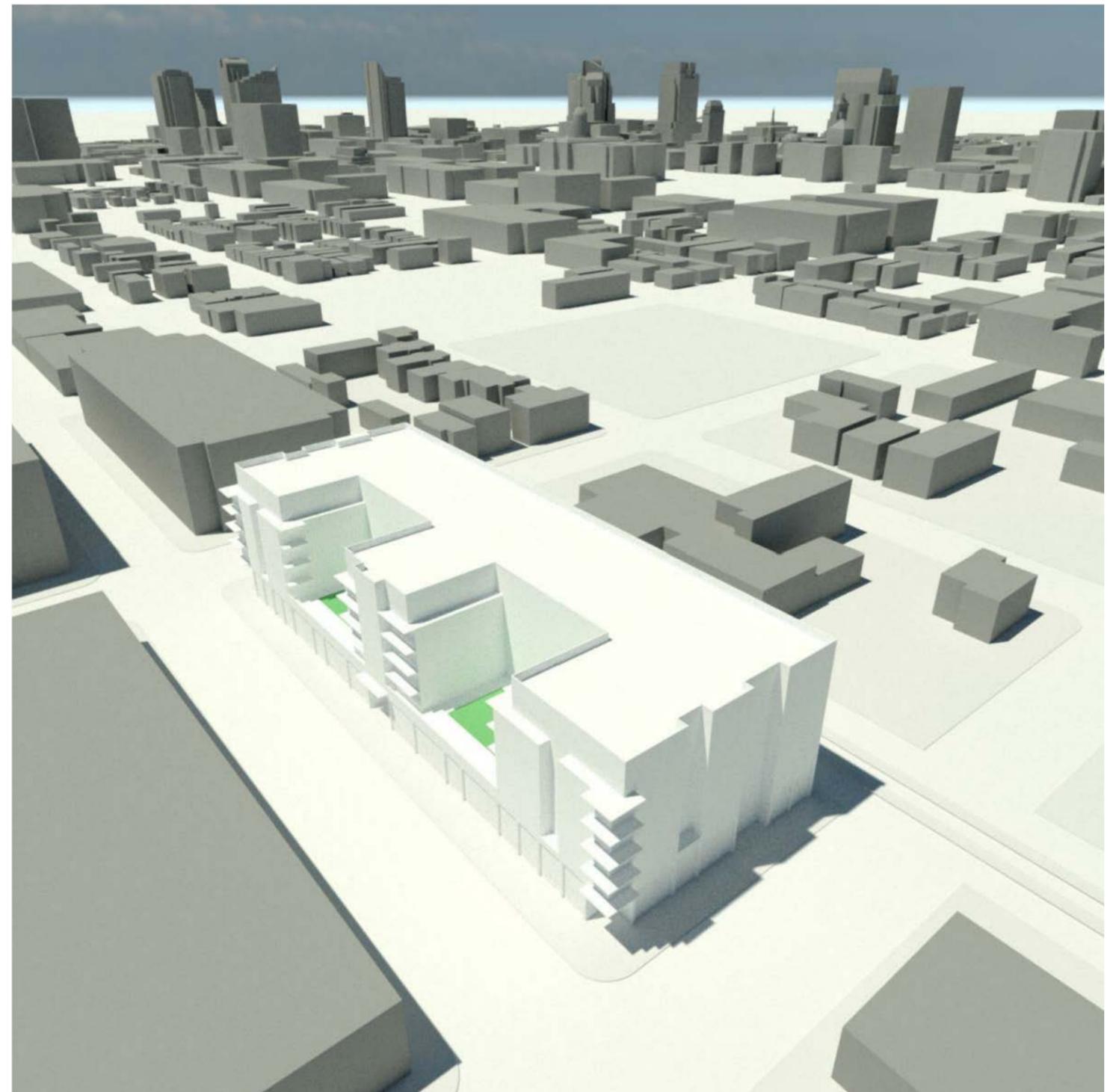
OPPORTUNITY SITE MAP



Opportunity Site 19



RENDERED VIEW 1



RENDERED VIEW 2

**BUILDING INFORMATION**

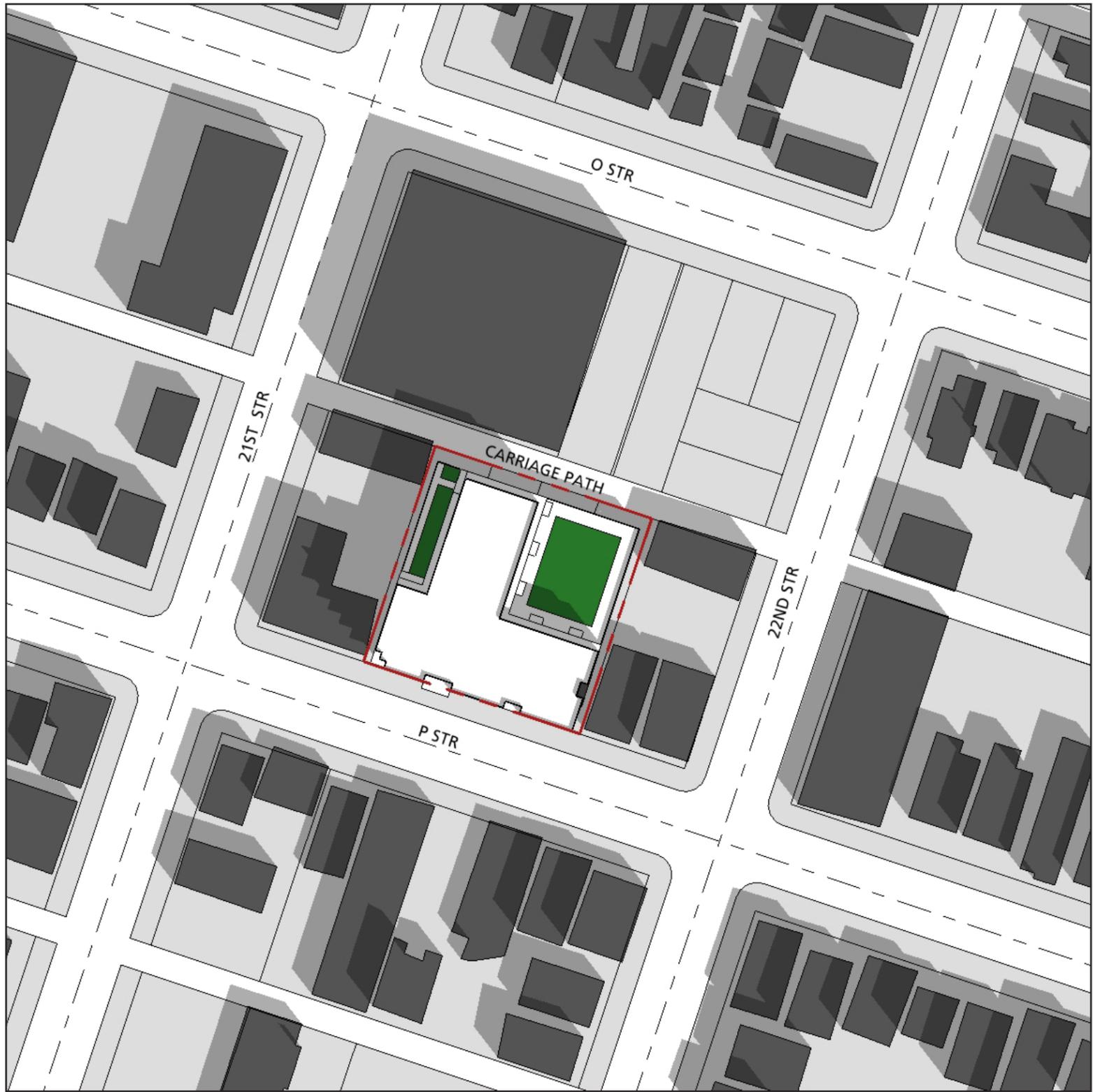
BUILDING HEIGHT:	Per OB-SPD zone, maximum building height is 75'. Building Height obtained 74'-9"
BUILDING STORIES:	The building is 7 stories. 5 stories of residential over 2 levels of parking. The Ground floor is lined with 1 clear story of residential that aligns the height of the 2-story parking
SETBACKS:	Per OB zone: front setback of 0' - 25' required, 0' provided. Street side yard setback 0'-25' required, 0' provided. Rear yard setback when abutting public alley 5' required, 5' provided.
STEPBACKS:	None required
DENSITY:	The density allowed by the general plan is 35-150 dwelling units per acre. The maximum density allowed in the OB zone is 36 dwelling units per acre. Density achieved is 174 dwelling units per acre.
LOT COVERAGE:	There is a 95% lot coverage due to the 5' rear setback
PARCELS:	Opportunity site 19 includes 7 parcels adjacent parcels bound by 16th, 17th and R Street
PARKING:	Per the Central City Parking Requirements: Minimum of 1 space per 2000 sf of retail and .5 space per residential unit. Opportunity Site 19 provides 93 spaces in a two story parking structure.
ESTIMATED UNIT COUNT:	The estimated unit count is 155 Units assuming an average unit size of 1,000 sf
RETAIL:	The ground floor retail totals 16,453 sf.
OVERLAY ZONES & SPD:	This site falls in the R-Street SPD and is subject to building height deviations from the zoning code

**DESIGN RATIONALE**

Building form takes an E shape with two open courtyards facing south-west. These open courtyards allow for more units to benefit from natural light. The rear yard abuts railroad tracks so the buildings primary focus is on R street along with the intersections of R Street with 16th and 17th Street. The building has a double loaded corridor which has residential units facing the street as well as the open courtyards.

**SITE RECOMMENDATIONS**

Opportunity Site 19 is located in the R Street SPD and therefore is allowed a height of 75'. The opportunity site achieves an FAR of 4.44 which is acceptable in the .3-6.0 range that the General Plan permits for the Urban Center High designation. The opportunity site achieves a density of 174 DU/AC which is greater than the maximum density of 150 DU/AC which is allowed in the Urban Center High designation.



SITE PLAN



PROPERTY INFORMATION							
TE AREA	ZONE	GENERAL PLAN	SPD	PARKING REQUIRED	HEIGHT ALLOWED	DENSITY ALLOWED	ESTIMATED UNITS
26,297	C-2-NC R-3A	Urban Corridor Low	-	39	65' - 0"	20-110 FAR 3.0-3.0	29.7

BUILDING INFORMATION							
FLOOR AREA	USAGE	UNIT COUNT	FAR	PARKING PROVIDED	HEIGHT OBTAINED	DENSITY OBTAINED	LOT COVERAGE
0	Hotel	0					
0	Office	0					
75,142	Residential	75	2.98	54	64' - 0"	124	94%
3,345	Retail	-					
78,487		75					
18,880	Parking	54					

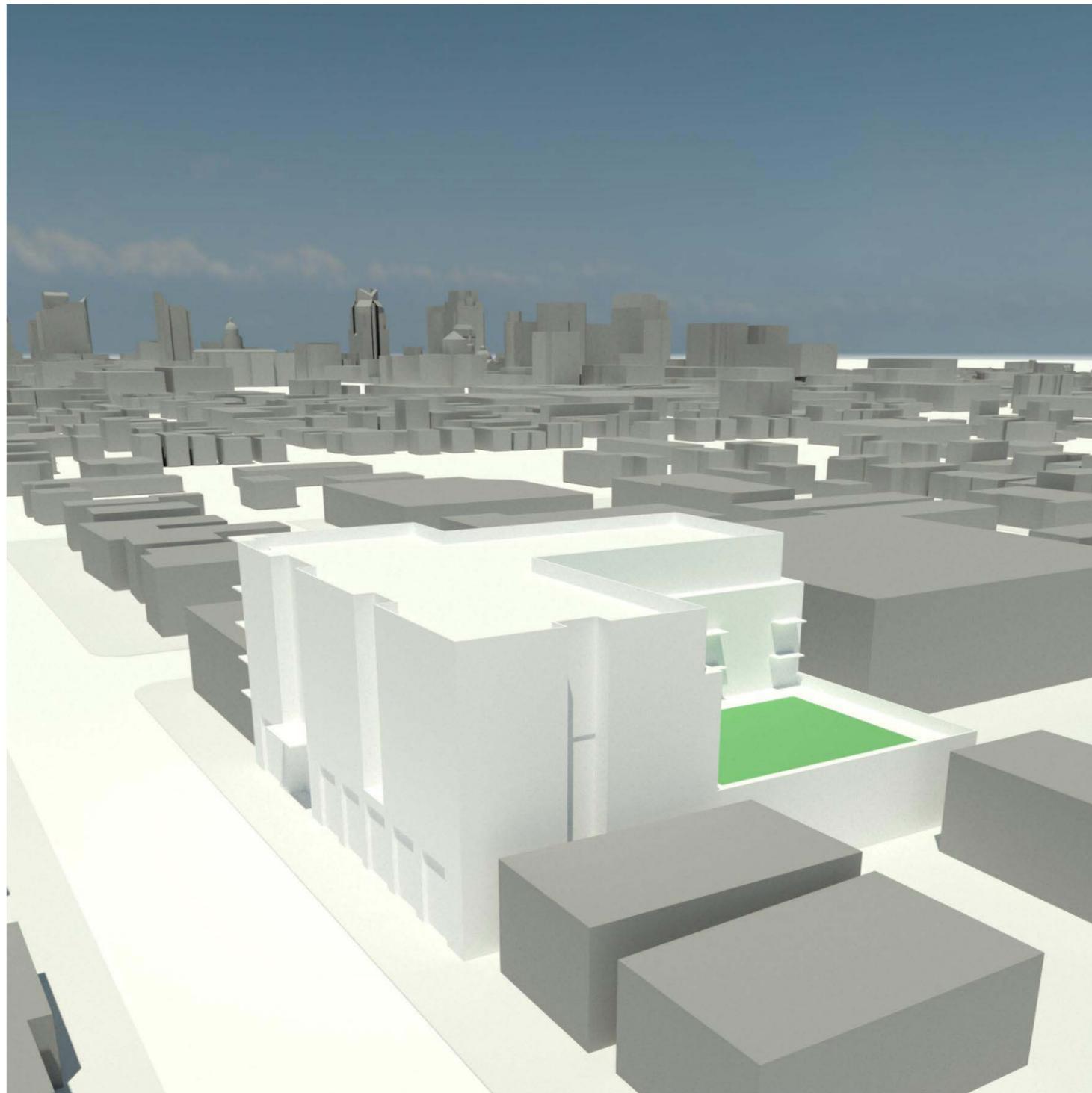
GENERAL PLAN DESIGNATION MAP



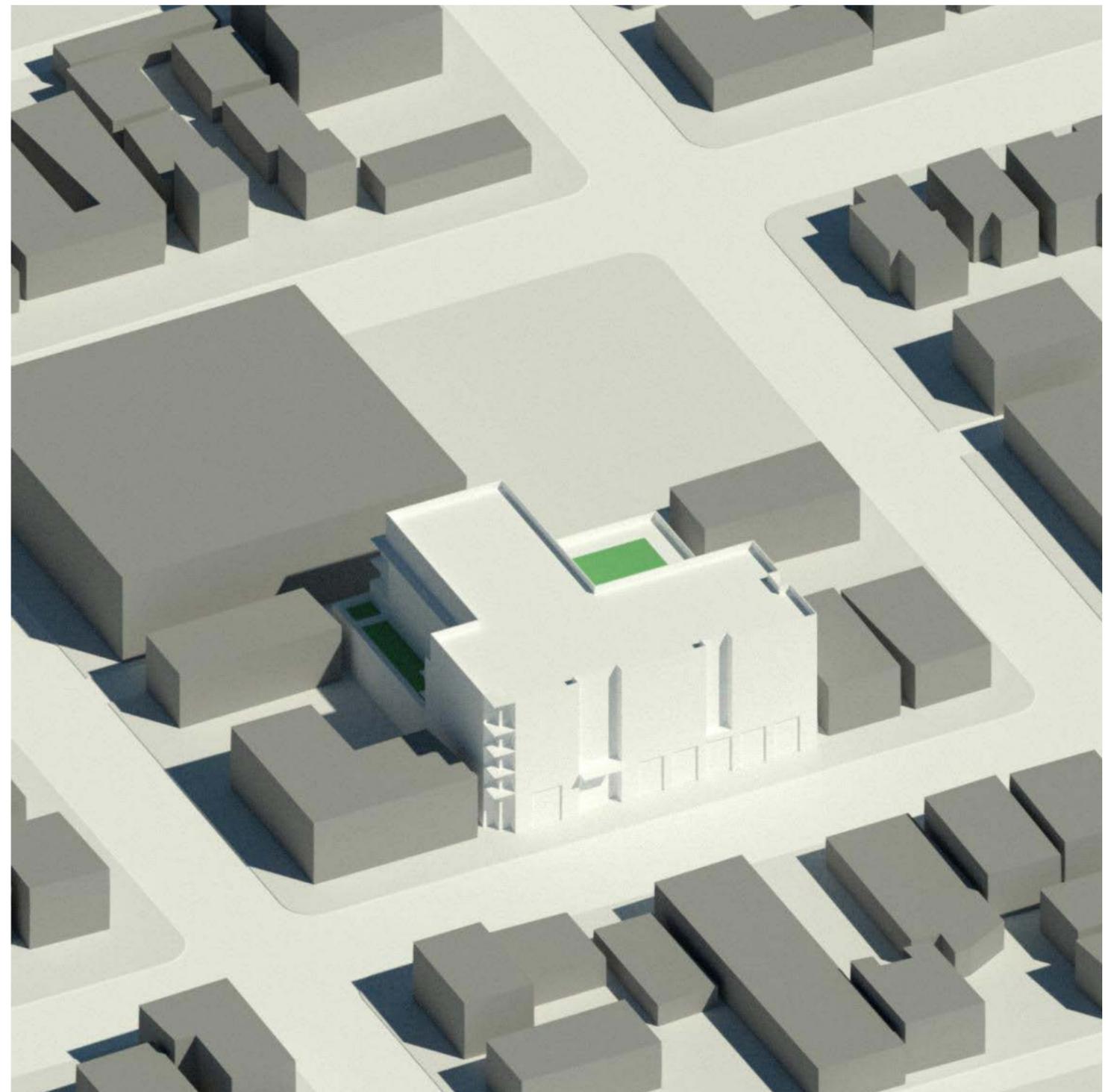
OPPORTUNITY SITE MAP



Opportunity Site 21



RENDERED VIEW 1



RENDERED VIEW 2

## BUILDING INFORMATION

BUILDING HEIGHT:	Maximum height is 65'. 64' obtained.
BUILDING STORIES:	5 stories. 4 residential stories over local retail.
SETBACKS:	Per C-2 zone, no minimum front-yard setback is required. The maximum front-yard setback is 25 feet. No minimum street side-yard setback is required. The maximum street side-yard setback is 25 feet. No minimum rear-yard setback.
STEPBACKS:	No stepback requirement.
DENSITY:	Urban Corridor Low per General Plan allows 20-110 DU/AC. The maximum density is 36 dwelling units per net acre per R-3A. Density obtained 124 DU/AC.
LOT COVERAGE:	No lot coverage requirement.
PARCELS	4 parcels located on site.
PARKING:	Parking located at ground level. 0.5 space per dwelling unit per Urban District parking guidelines. 54 stalls provided
ESTIMATED UNIT COUNT:	Estimated unit count of 29.7 units. Current Proposed unit count at 75.
RETAIL:	Retail located at ground floor
OVERLAY ZONES & SPD:	C-2, R-3A overlay zone.

## DESIGN RATIONALE

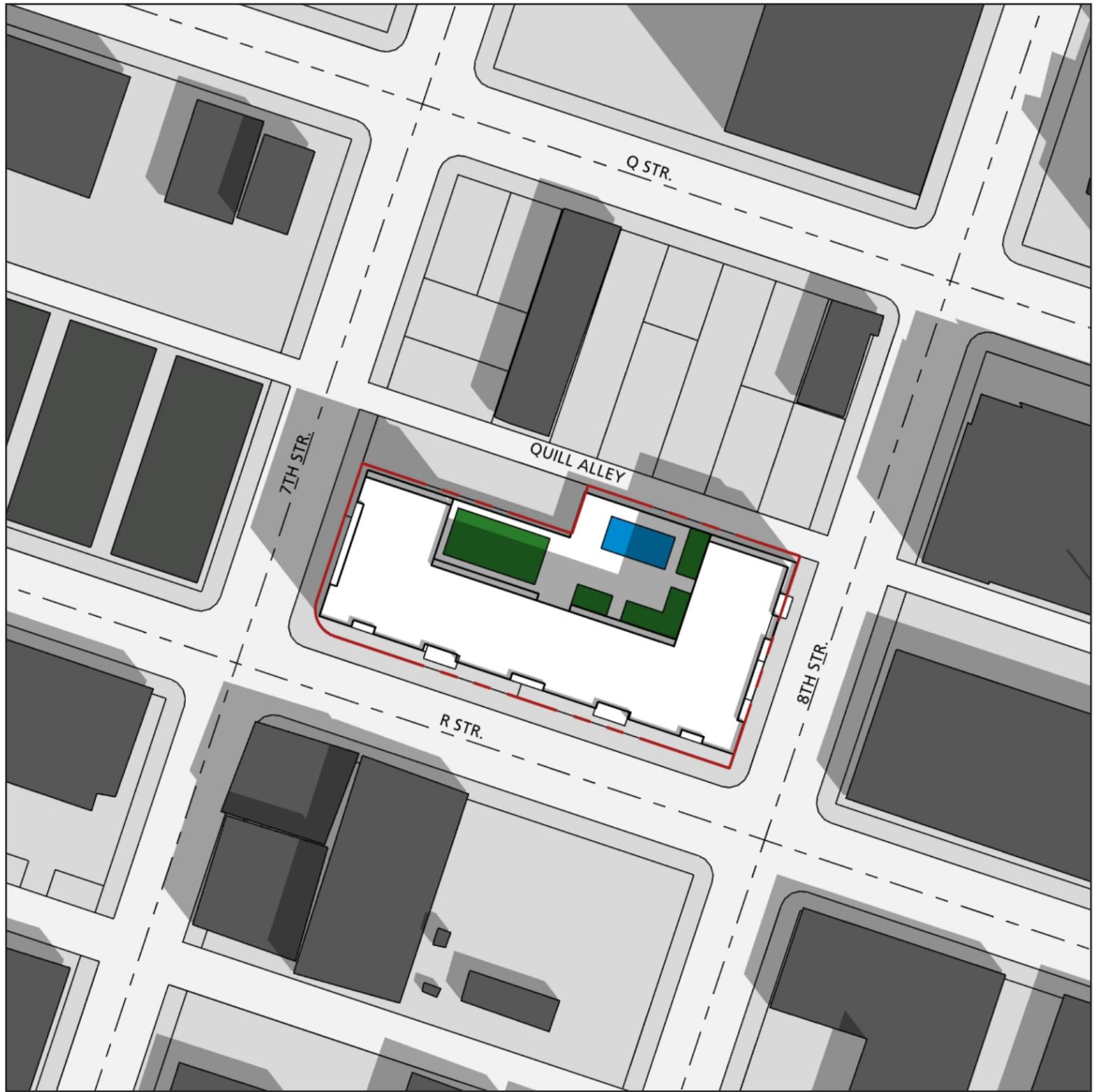
The purpose of the C-2 zone is to provide for the sale of goods, but multi-unit dwellings are permitted. The purpose of the R-3A zone is to accommodate higher density development in the central city, along major commercial corridors, and in areas near major institutions and public transit facilities.

The ground floor consists of limited retail lining P street at the front of the site, with parking taking up the remaining of the ground level. A double loaded residential corridor sits above the single podium at P Street, with single loaded corridors forming the amenity deck within the center of the site giving the building a "U" shaped massing. Balconies face inward considering the site is flanked to the left and right by multi-story residential and commercial buildings.

## SITE RECOMMENDATIONS

Estimated unit count 29.7 is low for the allowed density within the Urban Corridor Low designation (20-110 DU/AC). Per C-2 zone, the minimum and maximum density defined by the general plan is 20-110 DU/AC. Per R-3A the density allowed is 36 DU/AC. A higher unit count can be achieved with using the C-2 zone, and easily surpass the estimated unit count of 29.7 DU/AC.

It is recommended for sites with conflicting overlaying zones the less restrictive zone should be utilized to help promote higher densities for opportunity sites.



SITE PLAN

PROPERTY INFORMATION							
SITE AREA	ZONE	GENERAL PLAN	SPD	PARKING REQUIRED	HEIGHT ALLOWED	DENSITY ALLOWED	ESTIMATED UNITS
44,698	RMX - SPD	Urban Corridor High	-	59	65' - 0"	33-150 FAR 0.3 - 6.0	102.6

BUILDING INFORMATION							
FLOOR AREA	USAGE	UNIT COUNT	FAR	PARKING PROVIDED	HEIGHT OBTAINED	DENSITY OBTAINED	LOT COVERAGE
0	Hotel	0					
0	Office	0					
109,379	Residential	109	2.65	78	55'-9"	107	94%
8,857	Retail	-					
118,236		109					
27,189	Parking	78					

GENERAL PLAN DESIGNATION MAP



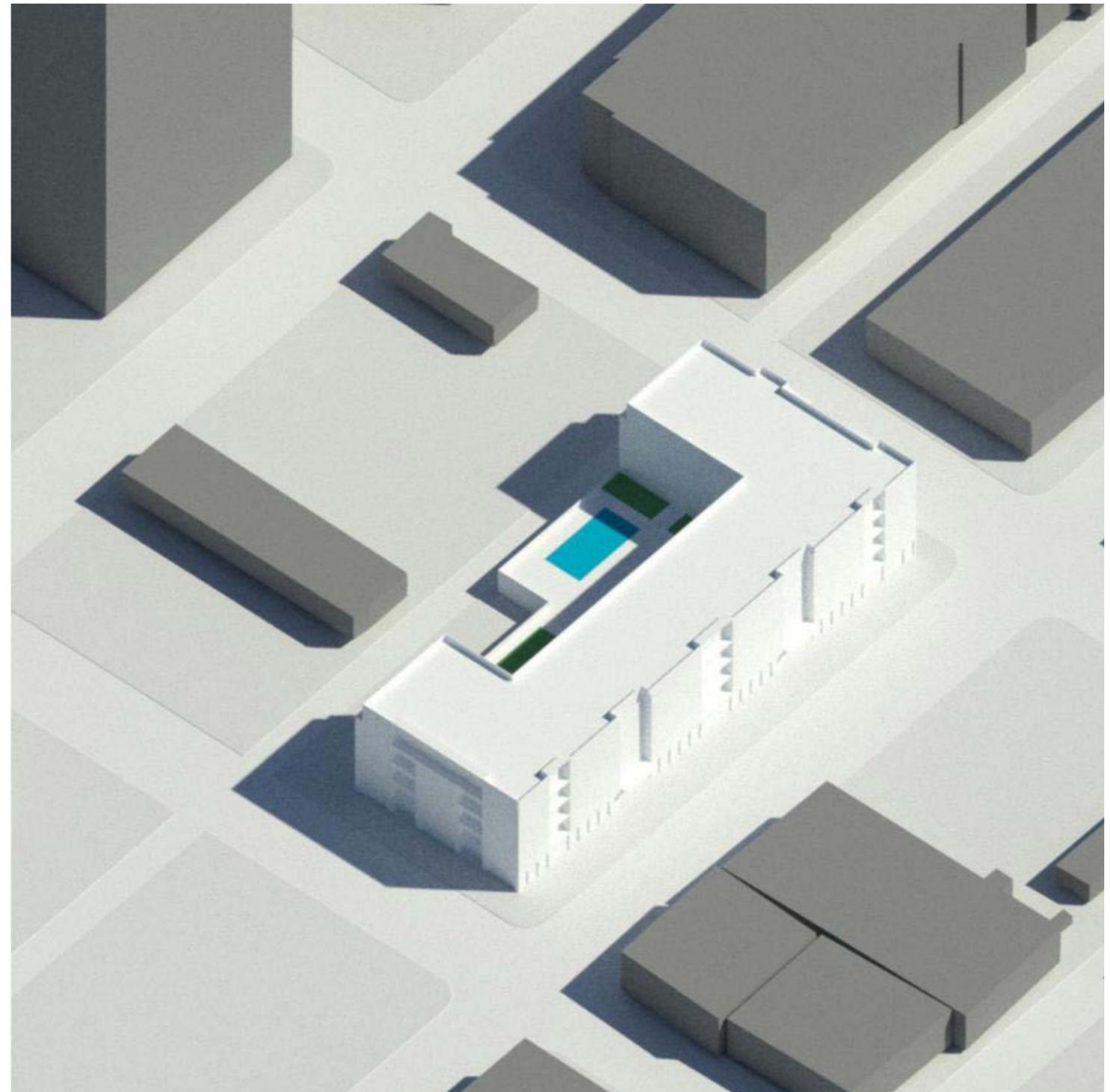
OPPORTUNITY SITE MAP



Opportunity Site 31



RENDERED VIEW 1



RENDERED VIEW 2

## BUILDING INFORMATION

BUILDING HEIGHT:	Maximum height is 65'. 55'-9" obtained.
BUILDING STORIES:	5 stories. 4 residential stories over local retail.
SETBACKS:	The minimum setback for the main building wall is 10 feet. The maximum setback is 25 feet. If the rear-yard lot line abuts a public alley, the rear-yard setback is five feet. There is no minimum interior side-yard setback
STEPBACKS:	No stepback requirement.
DENSITY:	The maximum density is 60 dwelling units per net acre per RMX zone. Density obtained 106 DU/AC per estimated unit count of 102.6.
LOT COVERAGE:	No lot coverage requirement.
PARCELS	5 parcels located on site.
PARKING:	Parking located at ground level. 0.5 space per dwelling unit per Urban District parking guidelines. 78 stalls provided
ESTIMATED UNIT COUNT:	Estimated unit count of 102.6 units. Current Proposed unit count at 109.
RETAIL:	Commercial and office uses are limited to the ground floor only and may occupy up to a maximum of 50% of the building square footage.
OVERLAY ZONES & SPD:	R Street Corridor

## DESIGN RATIONALE

The purpose of the RMX zone is to allow a mix of residential and commercial uses as a matter of right, and to preserve the residential character of neighborhoods while encouraging the development of neighborhood-oriented ground-floor retail and service uses.

The site sits across from multi-level condos on 7th Street. Limited retail lines 8th across from nearby commercial space. Ground level parking takes up the remainder of the site providing 78 stalls. Above the single podium are 4 levels of double loaded residential units which line Rth Str, 7th Street and 8th Str. An amenity deck opens up to the north.

## SITE RECOMMENDATIONS

Estimated unit count (102.6 units) is not possible per the low density (60DU/AC) allowed within the RMX zone. The proposed unit count is only achieved with a higher density to achieve over 100 units on site.

The density of the RMX zones should be reviewed within the R-street corridor for higher density counts to be achieved. A recommendation of 100 DU/AC within the R Street corridor would make sense of the purpose of the RMX developments.



SITE PLAN



PROPERTY INFORMATION							
SITE AREA	ZONE	GENERAL PLAN	SPD	PARKING REQUIRED	HEIGHT ALLOWED	DENSITY ALLOWED	ESTIMATED UNITS
51,250	R-5	Urban Corridor High	-	74	240'	175 DU/AC FAR.3-6.0	117.7

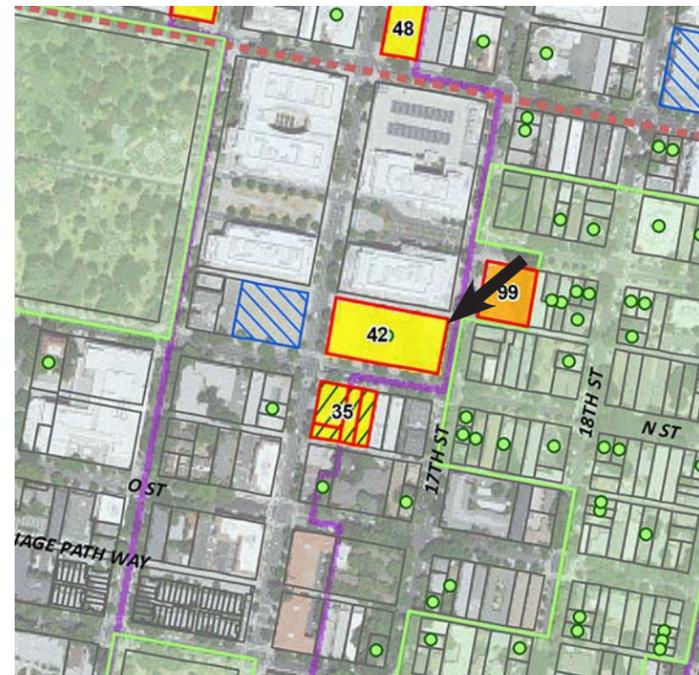
  

BUILDING INFORMATION							
FLOOR AREA	USAGE	COUNT	FAR	PARKING PROVIDED	HEIGHT OBTAINED	DENSITY OBTAINED	LOT COVERAGE
141,211	Residential	141	3.58	94	66'-6"	120 DU/AC	80%
6,139	Retail	-					
147,350		141					
37,596	Parking	94					

GENERAL PLAN DESIGNATION MAP



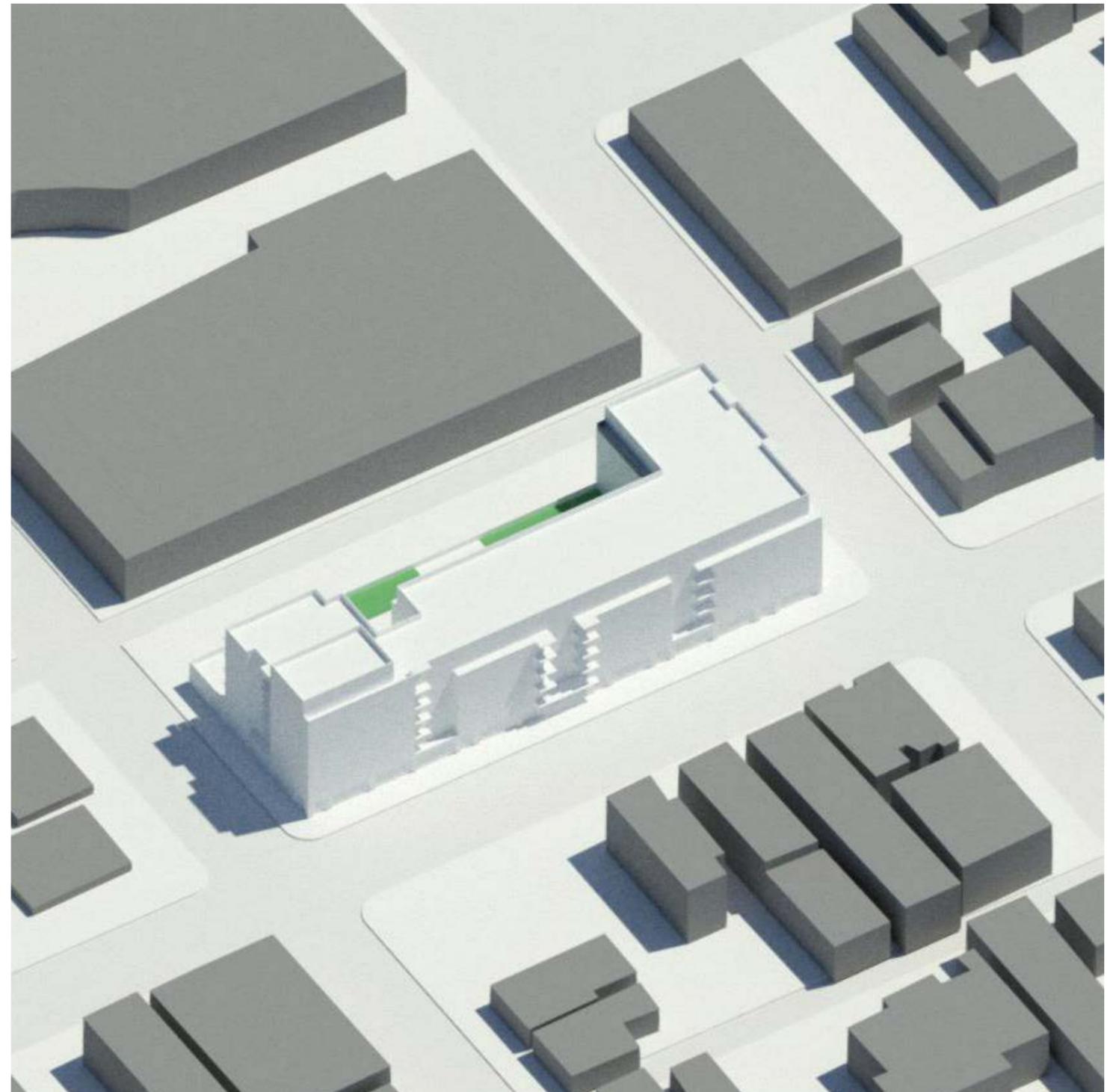
OPPORTUNITY SITE MAP



Opportunity Site 42



RENDERED VIEW 1



RENDERED VIEW 2

*Opportunity Site 42*

## BUILDING INFORMATION

BUILDING HEIGHT:	Maximum height is 240'. 66'-6" obtained.
BUILDING STORIES:	6 stories. 5 residential stories over local retail.
SETBACKS:	The minimum front and street side-yard setback for multi-unit dwellings is five feet. The maximum setback is 25 feet. If the rear-yard lot line abuts a public alley, the rear-yard setback is five feet.
STEPBACKS:	No stepback requirement.
DENSITY:	The maximum density is 175 dwelling units per net acre. Density obtained 120 DU/AC.
LOT COVERAGE:	80% max Lot Coverage allowed.
PARCELS	1 parcel located on site.
PARKING:	Parking located at ground level. 0.5 space per dwelling unit per Urban District parking guidelines.
ESTIMATED UNIT COUNT:	Estimated unit count of 117.7 units. Current Proposed unit count at 141.
RETAIL:	Ground floor retail located at 6th Street. Limited to 25% of gross floor area or 6,400 square feet of a building, whichever is greater
OVERLAY ZONES & SPD:	No SPD.

## DESIGN RATIONALE

The purpose of the R-5 zone is to permit dwellings, institutions, and limited commercial goods and services serving the surrounding neighborhood.

The site sits across from a newer 6 story mixed-use development off 6th Street. Limited retail lines 6th Street to comply with maximum 6,400 sf allowed, the commercial is set back to allow for some patio space and satisfies the required front and side setbacks. Ground level parking takes up the remainder of the site. Above the single podium are 5 levels of double loaded residential units which line 6th Str, L, Street, and 17th Str. An amenity deck opens up to the north. At the corner of 6th and L street the building massing projects higher to highlight the intersection and pronounce the area's newer development.

A residential tower could sit on the site if it meets all the required tower setbacks and max the property's FAR and high density. This would require additional below grade parking, increase the cost of the project, and it would be out of line with the adjacent mixed-use development.

## SITE RECOMMENDATIONS

Estimated unit count (117.7 units) was easily achieved with the 240' height limit and high density within the Urban Corridor High area.

It is recommended that the limiting retail requirement be reviewed for sites adjacent to the CBD, and if the site should be incorporated into the CBD to remove height and lot coverage restrictions.



SITE PLAN



PROPERTY INFORMATION							
SITE AREA	ZONE	GENERAL PLAN	SPD	PARKING REQUIRED	HEIGHT ALLOWED	DENSITY ALLOWED	ESTIMATED UNITS
27,692	C-3	Central Business District	Capitol View Protection	No Min. Requirement		450 DU/AC 61-450 FAR 3.0-15.0	95.4
BUILDING INFORMATION							
FLOOR AREA	USAGE	COUNT	FAR	PARKING PROVIDED	HEIGHT OBTAINED	DENSITY OBTAINED	LOT COVERAGE
132,986	Residential	133	6.90	111	150'	211 DU/AC	79%
11,652	Retail	-					
144,638		133					
44,580	Parking	111					

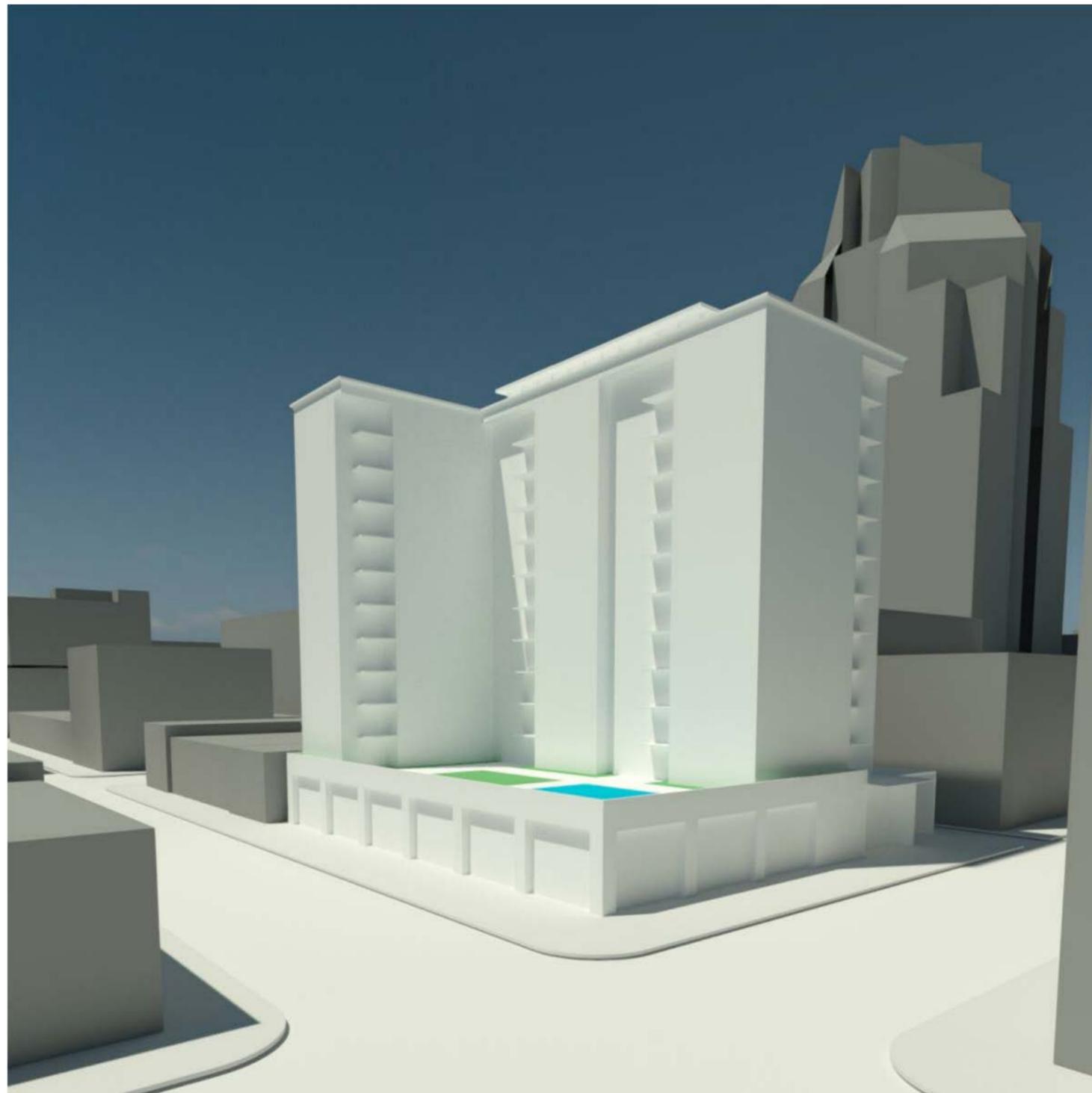
GENERAL PLAN DESIGNATION MAP



OPPORTUNITY SITE MAP



Opportunity Site 57



RENDERED VIEW 1



RENDERED VIEW 2

## BUILDING INFORMATION

BUILDING HEIGHT:	Except as provided in section 17.216.860 (the Capitol View Protection area), there are no maximum height limits. Max height of 150' on L street of Capito View Protection area. 150' obtained.
BUILDING STORIES:	12 stories on story podium. Ground level retail.
SETBACKS:	15' front setback on L and 9th Streets Per Capitol View Protection, 6' of building base can encroach in to 15' setback per park edge requirements
STEPBACKS:	Per L Street and 9th Street park edge requirement, stepback for special roof and cornice treatment at uppermost habitable floor.
DENSITY:	The maximum density is 450 dwelling units per net acre.. Density obtained 211 DU/AC.
LOT COVERAGE:	No Lot Coverage requirement.
PARCELS	1 parcel located on site.
PARKING:	Two levels of limited above ground parking, one level of below ground parking. Per CBD, there are no mimimum parking requirements for residential.
ESTIMATED UNIT COUNT:	Estimated unit count of 95.4 units. Current Proposed unit count at 133.
RETAIL:	Ground floor retail requirement. Required Retail blocks in C-3 must be either 75% or 50% for each individual block-face
OVERLAY ZONES & SPD:	Capitol View Protection area at L Street and 9th Street Park Edge.

## DESIGN RATIONALE

The purpose of the C-3 zone—also known and referred to as the central business district (CBD)—is to provide for the most intense residential, retail, commercial, and office developments in the city.

The site sits along the park edges of the Capitol View Protection area. The ground floor is required to have retail along the both L Streer and 9th Street, the building base (first 30') is allowed to extend 6' back into the 15' required setback. Atop the double height podium sits an amenity deck facing L Street and a 12 story high residential tower. The tower height is limited to 150' accomodating 12 stories, the uppermost floor has a stepback and decorative cornice condition per the Capitol View Protection guidelines. The 40' rear tower setback condition pushes the tower away from the alley, allowing for entry along the alley to above and below grade parking.

The proposed unit count of 133 exceeds the estimated unit count of 95.4 units, ther is room to acheive higher density but on-site parking becomes an issuse. There is no parking requirements withing the CBD, therefore parking is limited.

## SITE RECOMMENDATIONS

Estimated unit count (95.4 units) was easily achieved with the 150' height limit and high density within the CBD.

It is recommended the current the parking requiremntns withing the CBD should be reviewed for residential towers and mixed-use projects.



SITE PLAN



PROPERTY INFORMATION							
SITE AREA	ZONE	GENERAL PLAN	SPD	PARKING REQUIRED	HEIGHT ALLOWED	DENSITY ALLOWED	ESTIMATED UNITS
18,018	C-2	Urban Corridor Low	Historic District	26.5	65'	20 - 110 DU/AC FAR 0.3 - 6.0	41.3
BUILDING INFORMATION							
FLOOR AREA	USAGE	UNIT COUNT	FAR	PARKING PROVIDED	HEIGHT OBTAINED	DENSITY OBTAINED	LOT COVERAGE
44,773	Residential	45	2.94	41	64'	110 DU/AC	98%
8,288	Retail	-					
53,061		45					
16,459	Parking	41					

GENERAL PLAN DESIGNATION MAP



OPPORTUNITY SITE MAP



Opportunity Site 72



RENDERED VIEW 1



RENDERED VIEW 2

Opportunity Site **72**

## BUILDING INFORMATION

BUILDING HEIGHT:	Per C-2, maximum height is limited to 65 feet. Building height obtained 64 feet.
BUILDING STORIES:	5 stories. 4 residential levels over ground level retail.
SETBACKS:	No front (max 25' setback), no side (max 25' setback), or rear setback required.
STEPBACKS:	No Stepbacks required.
DENSITY:	Per the General Plan, Urban Corridor Low allowable density is 20-110 dwelling units per net acre. Density obtained 110 DU/AC.
LOT COVERAGE:	No Lot Coverage requirement.
PARCELS	1 parcel located in site.
PARKING:	Two -level parking garage located between F Street and Alley at rear.
ESTIMATED UNIT COUNT:	Estimated unit count of 41.3 units. Current Proposed unit count at 41.
RETAIL:	Ground floor retail located on 12th Street .
OVERLAY ZONES & SPD:	Within Historic District.

## DESIGN RATIONALE

The purpose of the C-2 zone is to provide for the sale of goods; the performance of services, including repair facilities; office uses; dwellings; small wholesale stores or distributors; and limited processing and packaging.

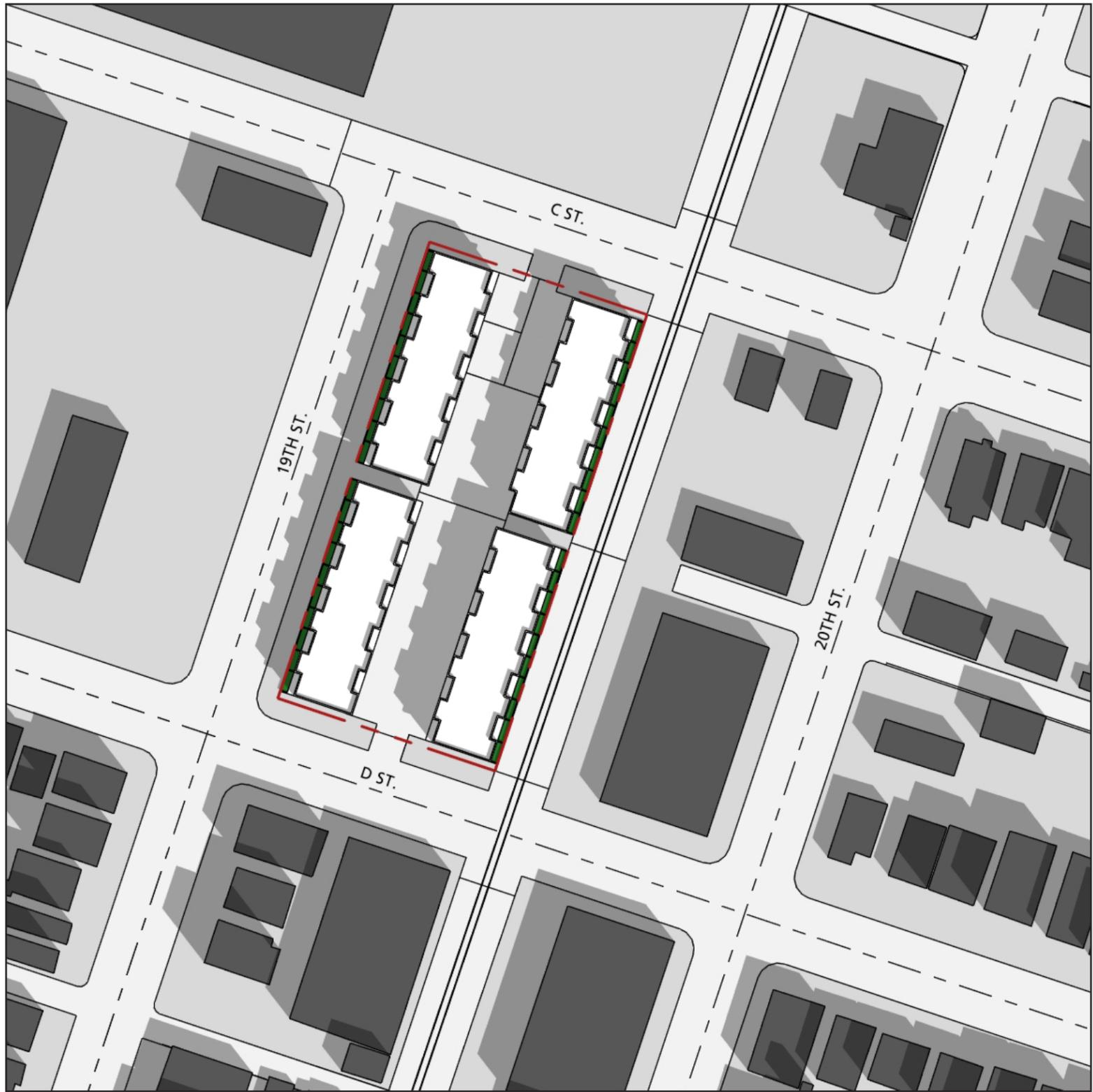
Four residential levels sit atop a double height ground floor retail and amenity deck. At the ground level, retail lines 12th Street to maintain the historically commercial zone. The entry to residential levels and parking occur off of F Street. The building is pushed up against 12th Street to create the amenity deck between the building and adjacent commercial property opening up views towards downtown's Central Core. A single-loaded residential wing off of F Street completes the residential mass.

There are two levels of above grade parking that support an amenity deck.

## SITE RECOMMENDATIONS

Estimated unit count (41.3 units) was easily achieved with the 65' maximum height limit and allowable density per Urban Corridor Low.

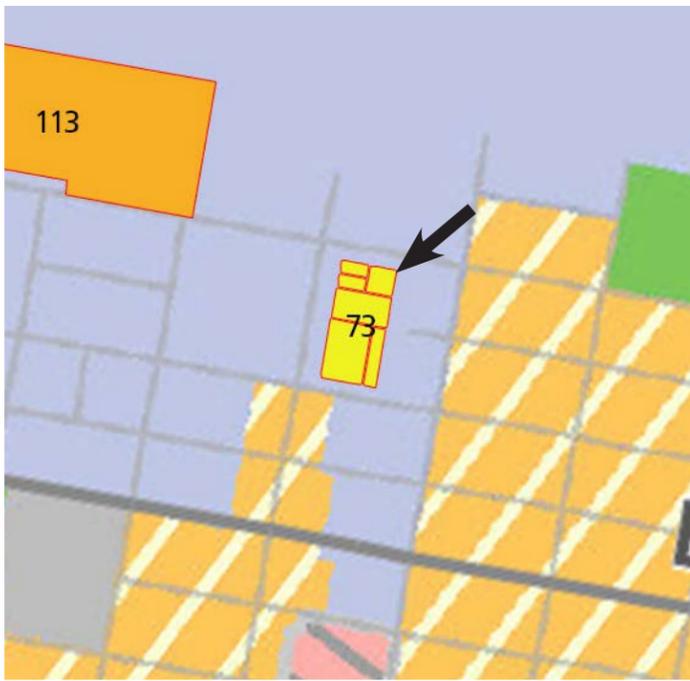
It is recommended the current site remain zone C-2 to maintain the current density near R-zones with the area.



SITE PLAN

PROPERTY INFORMATION							
SITE AREA	ZONE	GENERAL PLAN	SPD	PARKING REQUIRED	HEIGHT ALLOWED	DENSITY ALLOWED	ESTIMATED UNITS
55,953	C-4 & M1	Employee Center Low	No	40	75'	60DU/AC FAR .15-1	38.5*
BUILDING INFORMATION							
FLOOR AREA	USAGE	UNIT COUNT	FAR	PARKING PROVIDED	HEIGHT OBTAINED	DENSITY OBTAINED	LOT COVERAGE
56,320	Residential	40	0.99	40	33'-7"	29 DU/AC	39%
56,320		40					
21,840	Parking	40					

GENERAL PLAN DESIGNATION MAP



OPPORTUNITY SITE MAP



Opportunity Site 73



RENDERED VIEW 1



RENDERED VIEW 2

## BUILDING INFORMATION

BUILDING HEIGHT:	Per C-4, the maximum height is 75 feet. Per M-1, the maximum height is 70 feet. Height obtained 33'-7".
BUILDING STORIES:	3 Stories. 2 Residential levels over ground level parking.
SETBACKS:	No front (max 15' setback), no side (max 25' setback), or rear setback required. 5' Setback provided, units in line with neighborhood's calculated setback.
STEPBACKS:	No Stepbacks required.
DENSITY:	Per Zone C-4, the maximum density is 60 dwelling units per net acre. Per Zone M-1, there is no maximum density. Density Obtained 29 DU/AC.
LOT COVERAGE:	No Lot Coverage requirement.
PARCELS	6 parcels on site.
PARKING:	Parking located at ground level of each unit. Accessed from C Str or D Str.
ESTIMATED UNIT COUNT:	Estimated unit count of 38.5 units. Current Proposed unit count at 40.
RETAIL:	No ground floor retail requirement.
OVERLAY ZONES & SPD:	M-1 Overlay zone.

## DESIGN RATIONALE

The purpose of the C-4 zone is to provide for warehousing, distribution activities, and commercial uses that have minimal undesirable impact upon nearby residential areas. Minimal light manufacturing and processing are permitted. (Ord. 2013-0020 § 1; Ord. 2013-0007 § 1)

The purpose of the M-1 zone is to permit the manufacture or treatment of goods. (Ord. 2013-0020 § 1; Ord. 2013-0007 § 1)

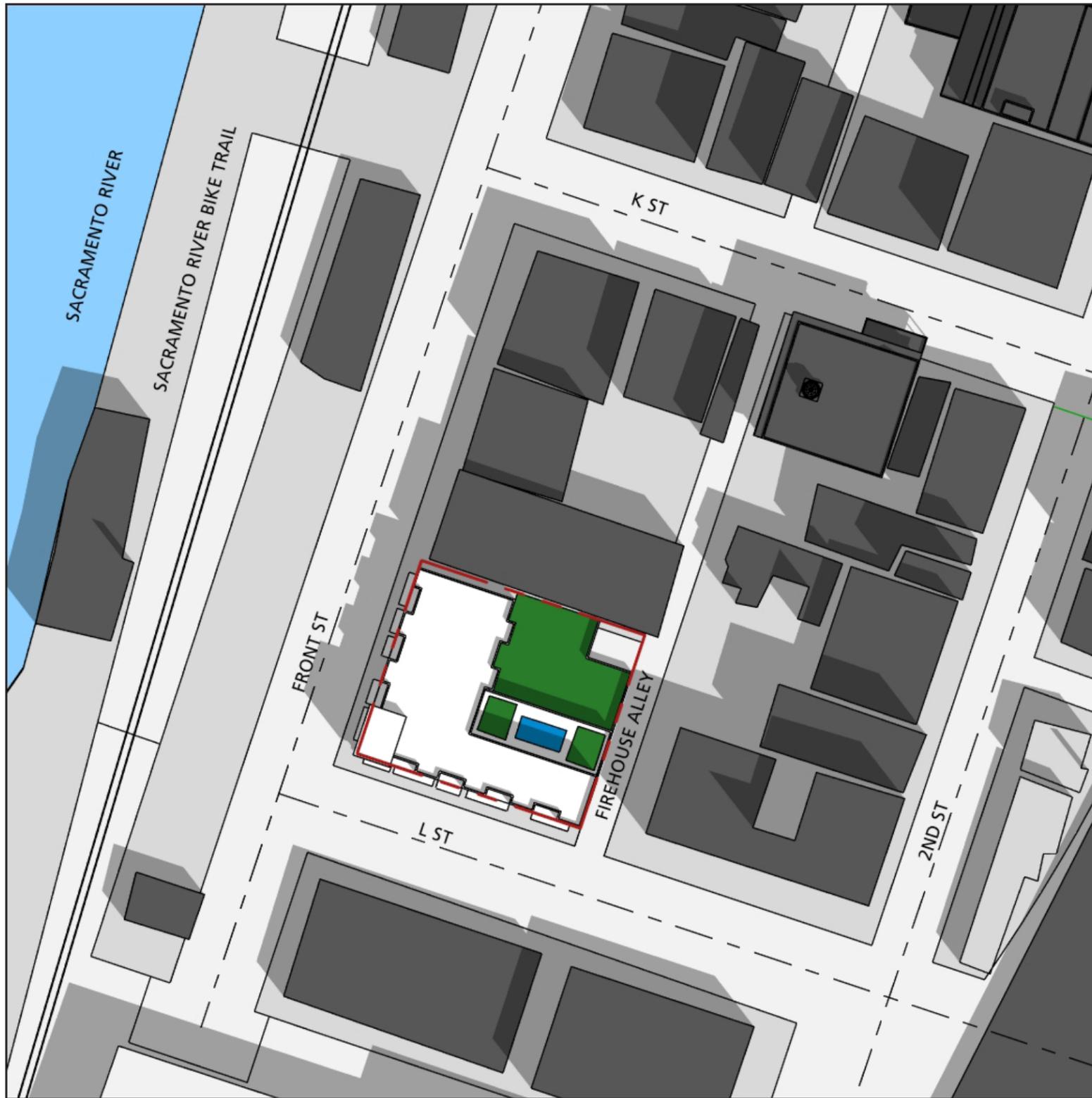
Multi-unit residential is allowed under approval of a conditional use permit for both zones, subject to the limits specified. Permitted in central city, or outside central city if use is located less than ¼ mile from the center of a light rail station platform. Subject to special use regulations in section 17.228.117

There is an FAR of 1.0 limiting the amount of units to half (29 DU/AC) of the allowed density (60 DU/AC). The 40 townhomes are split into groups of 10 spread across the site. The ground level of each unit provides parking and access for each unit. The units follow the calculated 5' setback found in the nearby neighborhood. Each unit has a private ground level patio, garden space.

## SITE RECOMMENDATIONS

C-4 zone allows 60 dwelling units per net acre, only half the density (29 DU/AC) is possible due to the general plan designation - Employee Center low. Employee Center Low allows for a FAR up to 1 , limiting the allowable density.

Recommend the genral plan designation be upzoned to the adjacent Urban Corridor Low (Density 20-110, FAR: 0.3-3.0) to maximize the number of allowed units limited by the FAR.



SITE PLAN



PROPERTY INFORMATION							
SITE AREA	ZONE	GENERAL PLAN	SPD	PARKING REQUIRED	HEIGHT ALLOWED	DENSITY ALLOWED	ESTIMATED UNITS
19,585	C-3	Traditional Center	Old Sac. Historic District	39	No height limit	15-36 DU/AC FAR .3-2.0	13.5*

BUILDING INFORMATION							
FLOOR AREA	USAGE	UNIT COUNT	FAR	PARKING PROVIDED	HEIGHT OBTAINED	DENSITY OBTAINED	LOT COVERAGE
22,143	Residential	15	1.77	41	33'-7"	34 DU/AC	69%
12,475	Retail	-					
34,618		15					
16,459	Parking	41					

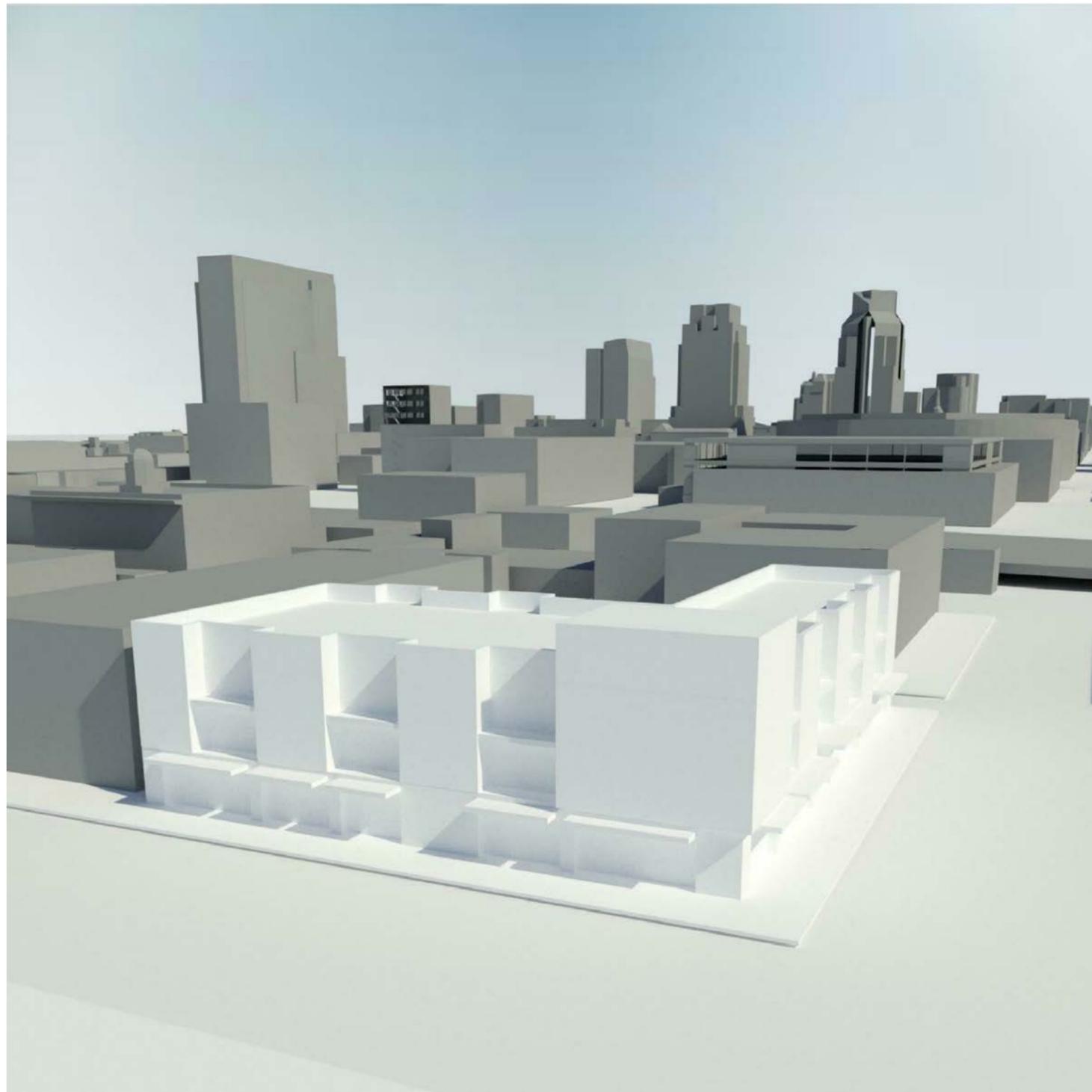
GENERAL PLAN DESIGNATION MAP



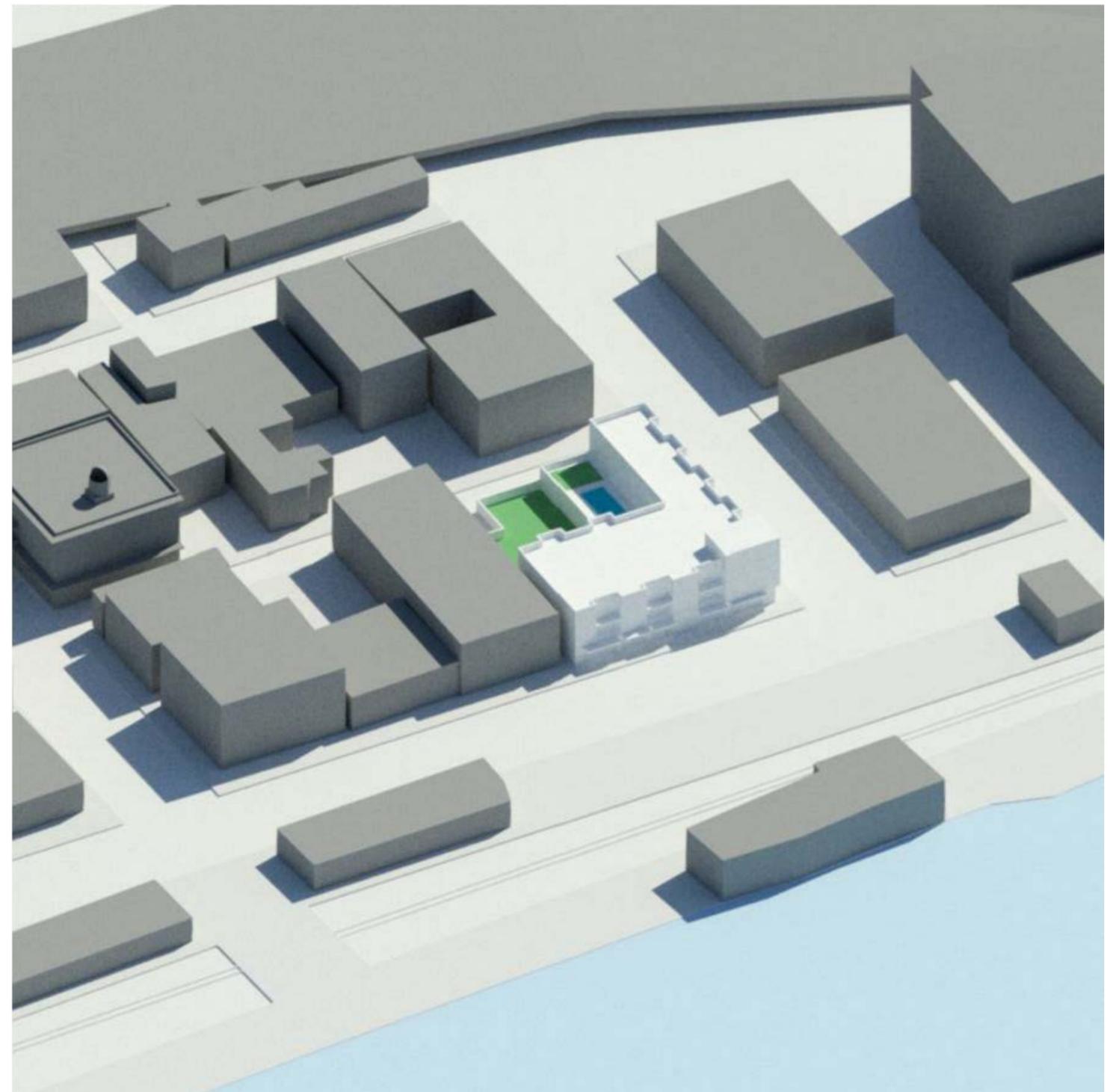
OPPORTUNITY SITE MAP



Opportunity Site 74



RENDERED VIEW 1



RENDERED VIEW 2

## BUILDING INFORMATION

BUILDING HEIGHT:	Except as provided in section 17.216.860 (The Capitol View Protection Area), there are no maximum height limits. Per C-3 zone there is no max building height. 33'-7" height obtained.
BUILDING STORIES:	3 stories. 2 Residential Levels over Retail. Existing below grade parking.
SETBACKS:	No front (Max 10' setback), side, or rear setback required. 5' Setback provided at adjacent building.
STEPBACKS:	No Stepbacks required.
DENSITY:	Per Suburban Center density allowed is 15-36 dwelling units per net acre. Per Zone C-3 the maximum density is 450 dwelling units per net acre. Density Obtained 34 DU/AC.
LOT COVERAGE:	No Lot Coverage requirement.
PARCELS	One Parcel
PARKING:	Existing below grade surface lot.
ESTIMATED UNIT COUNT:	Estimated unit count of 13.5 units. Current Proposed unit count at 15. Max unit count using 36 DU/AC calculated at 15.8 units.
RETAIL:	Ground floor retail requirement.
OVERLAY ZONES & SPD:	Old Sacramento Historic Area, not listed under official Historic District maps.

## DESIGN RATIONALE

The purpose of the C-3 zone—also known and referred to as the central business district (CBD)—is to provide for the most intense residential, retail, commercial, and office developments in the city.

There is a ground floor retail requirement. Retail lines Front Street and L street as a continuation of the the Old Sacramento Historic Area.

There is a max unit count of 15.8 per Traditional Center density. 15 two-level town homes sit above the required ground level retail. The L-shaped building massing defines the site, an interior courtyard and raised amenity deck define the interior faces.

There is a parking requirement of two cars per unit in addition to the parking for the retail requirement. The current site is below the street level and would continue to function as below grade parking.

## SITE RECOMMENDATIONS

The C-3 zone and Traditional Center designation do not align due to the high density (450 DU/AC) and no restriction on height limit.

It is recommended Old Sacramento Historic Area have limitations and review of the C-3 zones to confirm all new developments within the area fit contextually in terms of density, height, and aspirations on waterfront.

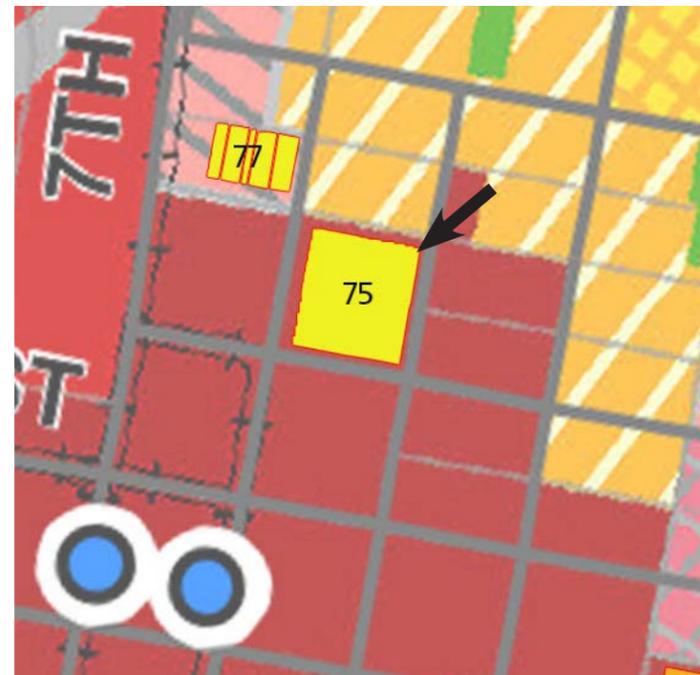


SITE PLAN

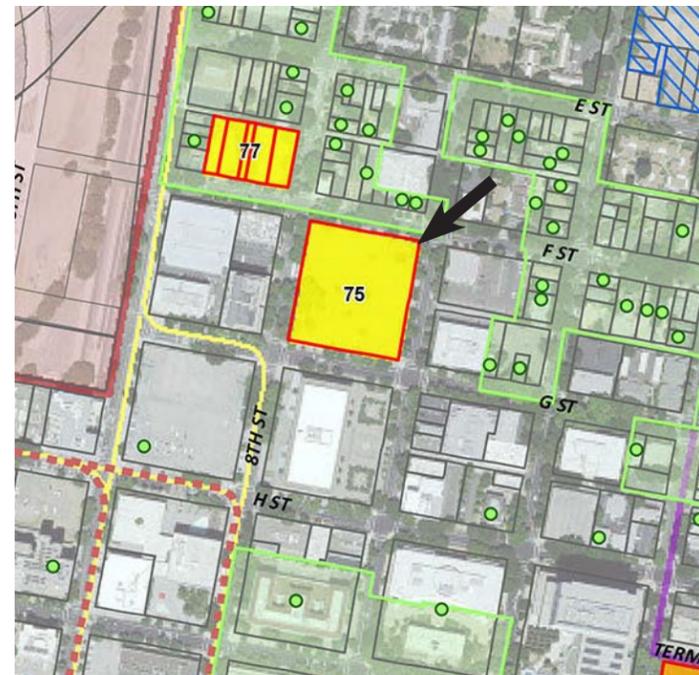


PROPERTY INFORMATION							
SITE AREA	ZONE	GENERAL PLAN	SPD	PARKING REQUIRED	HEIGHT ALLOWED	DENSITY ALLOWED	ESTIMATED UNITS
107,826	CO	Central Business District	None	186	35'	*36 DU/AC 61 - 450 FAR 3 - 15	371.3
BUILDING INFORMATION							
FLOOR AREA	USAGE	COUNT	FAR	PARKING PROVIDED	HEIGHT OBTAINED	DENSITY OBTAINED	LOT COVERAGE
0	Office	0.0					
372,564	Residential	373	3.70	200	214'-6"	150 DU/AC	Obtained:54%
26,355	Retail	-					
398,919		373					
79,979	Parking	200					

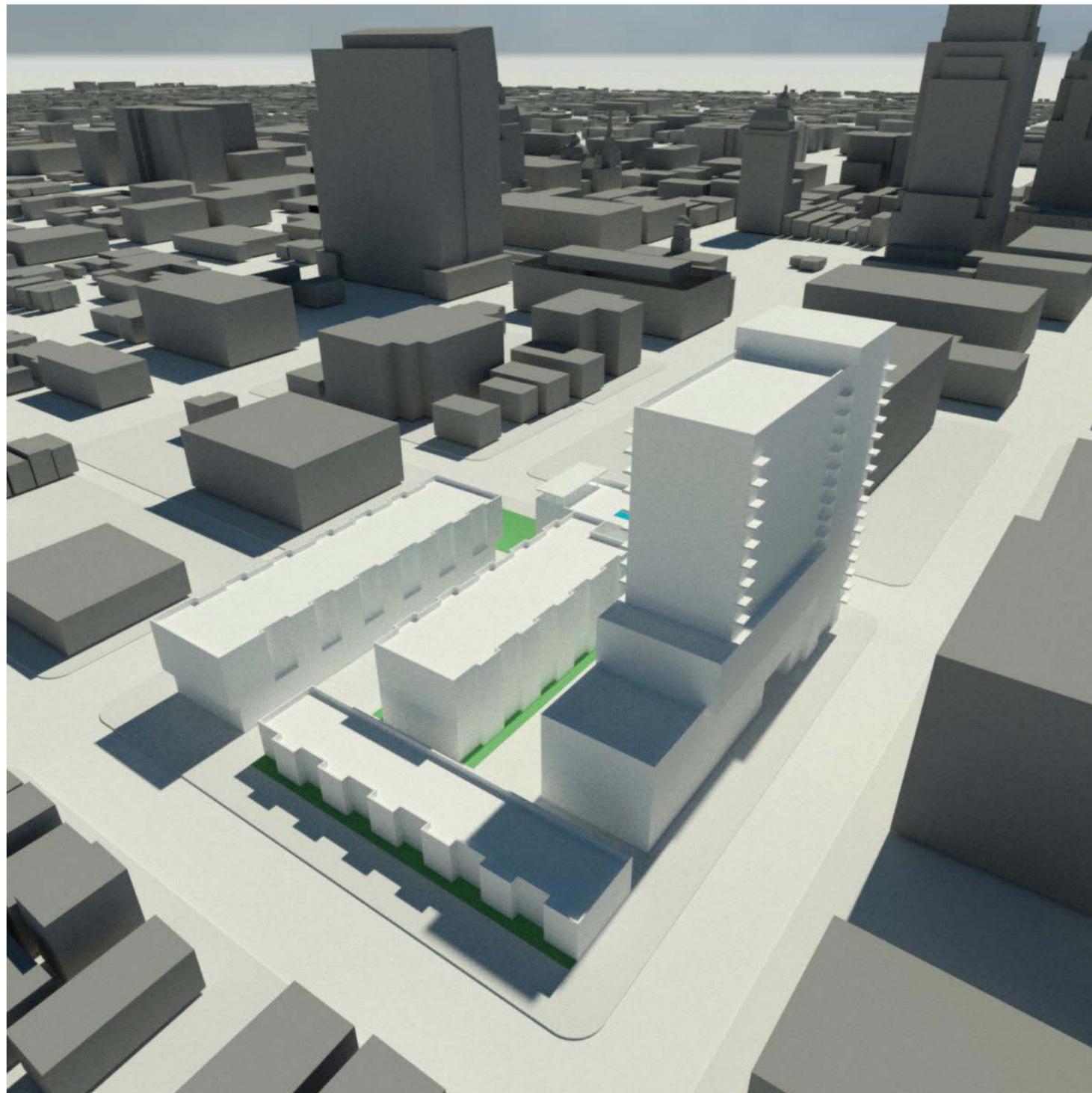
GENERAL PLAN DESIGNATION MAP



OPPORTUNITY SITE MAP



Opportunity Site 75



RENDERED VIEW 1



RENDERED VIEW 2

## BUILDING INFORMATION

BUILDING HEIGHT:	Per zone OB, maximum height is limited to 35 feet. Per Central Business and potential rezoning to C-3, building height obtained 214'-6".
BUILDING STORIES:	17 level residential tower over 5 level base, 5 level wing. Detached 3-level mixed-use building on 7th Street, multi-level townhomes on F Str across from R-Zone.
SETBACKS:	No front (Max 25' setback), no side (Max 25' setback), or rear setback required.
STEPBACKS:	No Stepbacks required.
DENSITY:	Per OB Zone, maximum density is 36 dwelling units per net acre. Per Central Business District and potential rezoning to C-3 density achieved is 150 DU/AC.
LOT COVERAGE:	No Lot Coverage requirement, 54% obtained.
PARCELS	One Parcel
PARKING:	Parking required 186, one level of below grade parking with 200 stalls provided. Additional below grade parking could double parking for 1:1 ratio with units.
ESTIMATED UNIT COUNT:	Estimated unit count of 371.3 units. Current Proposed unit count at 373 units
RETAIL:	Permitted in a building in which at least 50% of the gross floor area is devoted to office or dwelling use. Use limited to 40,000 gross square feet.
OVERLAY ZONES & SPD:	No overlay or SPD.

## DESIGN RATIONALE

The purpose of the OB zone is to provide for a low-rise mixed-use employment zone that is intended to permit business, office, institutional, or professional buildings; the sale of goods and services; and lodging and dwellings.

The siting of the project meant to tier the towers and lower structures into the varying surrounding civic and residential zones. The corner of G Street and 7th Street opens up to provide a courtyard space that echos the County Court's Courtyard across G Street and draw in the open space into the overall site.

The 17 story residential tower is opposite a multi-story office tower off 8th. The base and wing off the tower stand 5 stories tall. The 3 level wing on G Street provides an amenity level and observation deck. The 3 level residential building on 7th Street sits atop ground floor retail. 3-level townhomes line F Street to bring down the scale of the project as it nears traditional R-Zones.

The project sits atop below-grade parking, which can be extended to two levels to satisfy all residential units at a ratio of 1:1.

## SITE RECOMMENDATIONS

The site is currently zoned OB - Office Business which is limited by the 35 foot maximum height. The estimated unit count of 371.3 units is not achievable without rezoning.

OB zones within the the Central Business District should be remapped to potential C-3 zoning except when adjacent to R-zones.

Alternatively, leaving zone as is, but allow increased height within CBD to achieve higher range of density allowed in CBD.



SITE PLAN



PROPERTY INFORMATION							
SITE AREA	ZONE	GENERAL PLAN	SPD	PARKING REQUIRED	HEIGHT ALLOWED	DENSITY ALLOWED	ESTIMATED UNITS
39,310	RO, overlapping OB	Urban Corridor Low	Historic District	14	35'	20-110 DU/AC FAR 0.3 -3.0	90.2*
BUILDING INFORMATION							
FLOOR AREA	USAGE	COUNT	FAR	PARKING PROVIDED	HEIGHT OBTAINED	DENSITY OBTAINED	LOT COVERAGE
38,016	Residential	27					
38,016		27	0.97	54	34'-3"	24 DU/AC	41%
16,276	Parking	54					

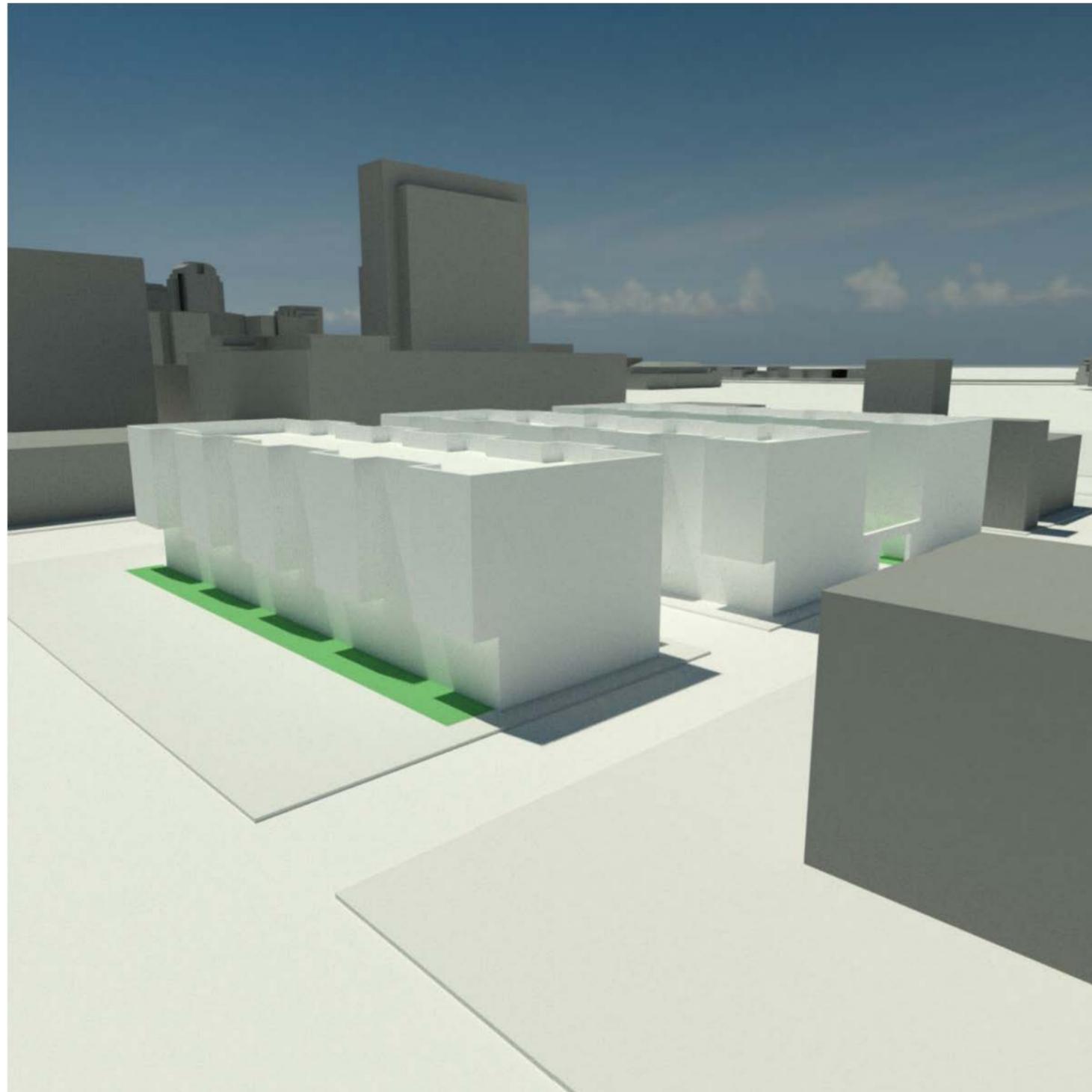
GENERAL PLAN DESIGNATION MAP



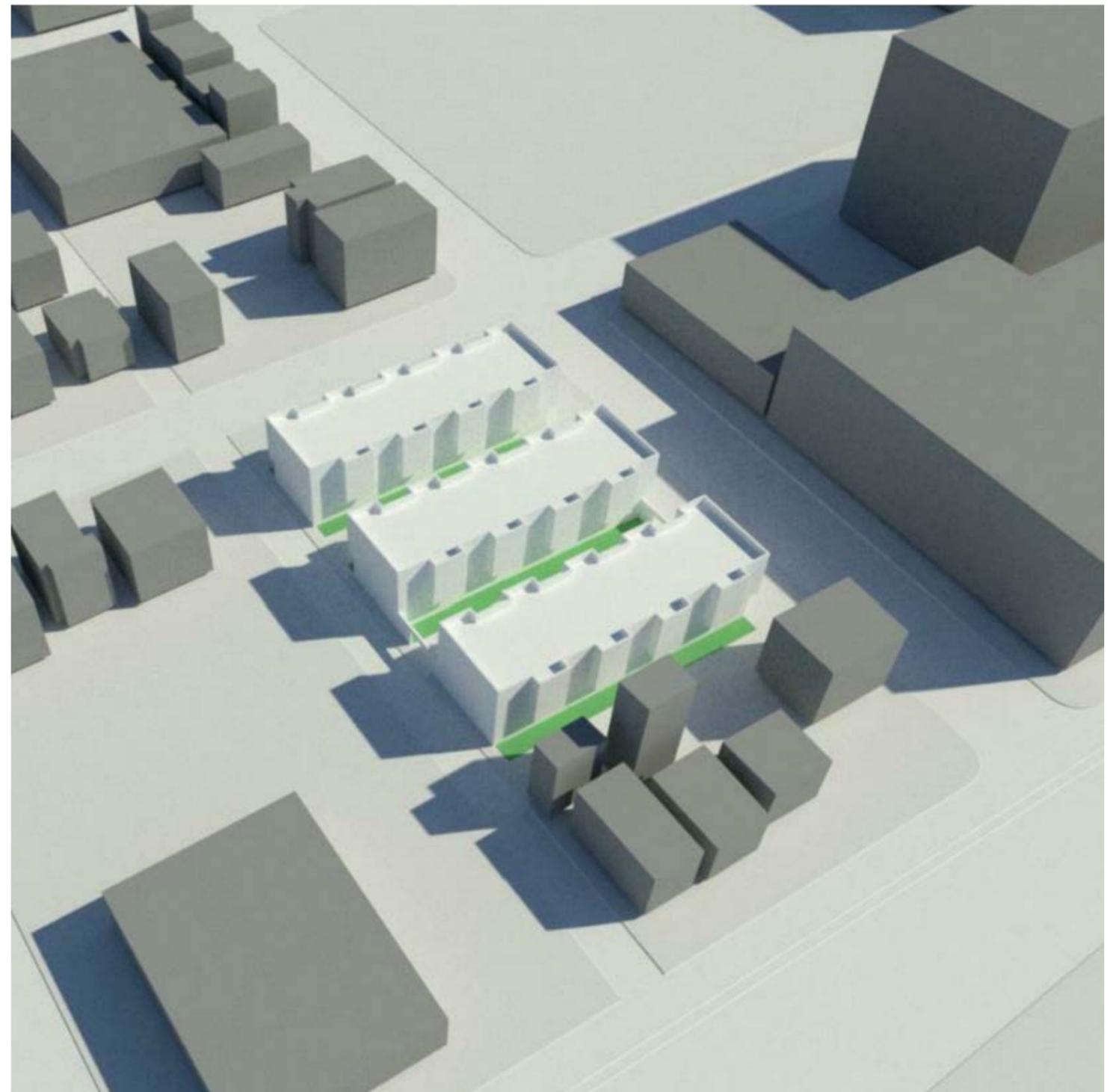
OPPORTUNITY SITE MAP



Opportunity Site 77



RENDERED VIEW 1



RENDERED VIEW 2

## BUILDING INFORMATION

BUILDING HEIGHT:	Per zone RO zone, maximum building height is 35'. Building height obtained 34'-3".
BUILDING STORIES:	3 stories. Muti-level town homes, 2 residential levels over ground floor garage.
SETBACKS:	Minimum front yard setback calculated at 20', it is the average of the two front yard setbacks of the nearest buildings.
STEPBACKS:	No Stepbacks required.
DENSITY:	Per RO zone the maximum density is 36 dwelling units per net acre. Density obtained is 24 DU/AC.
LOT COVERAGE:	Outside the Central City Core, the maximum lot coverage is 60%. 41% lot coverage obtained.
PARCELS	5 parcels located on site.
PARKING:	Parking provided at ground level of all town homes, 2 cars per unit.
ESTIMATED UNIT COUNT:	Estimated unit count of 90.2. Proposed 27 units under RO height and setback limitations.
RETAIL:	No retail. Permitted under RO under special use permit.
OVERLAY ZONES & SPD:	OB zone overlay.

## DESIGN RATIONALE

The purpose of the RO zone is to provide a medium-density multiple-family zone, generally located inside the central city and in certain adjacent areas. The zone permits development of office and other commercial uses that are compatible with adjacent residential uses.

The purpose of the OB zone is to provide for a low-rise mixed-use employment zone that is intended to permit business, office, institutional, or professional buildings; the sale of goods and services; and lodging and dwellings.

Per the RO zone the building height is limited to 35'. The estimated unit count of 90.2 is not able to be achieved under the current RO zone due to 35' height and setback limitations on all sides.

Groups of muti-level townhomes are proposed for the site which are in line with the adjacent R zone community.

## SITE RECOMMENDATIONS

Per RO zone, the estimated unit count is not able to be achieved without upzoning or removing current RO height and setback requirements.

It is recommended that the site remain RO so that the scale of the development is in line with the victorian homes in the adjacent R-zones.

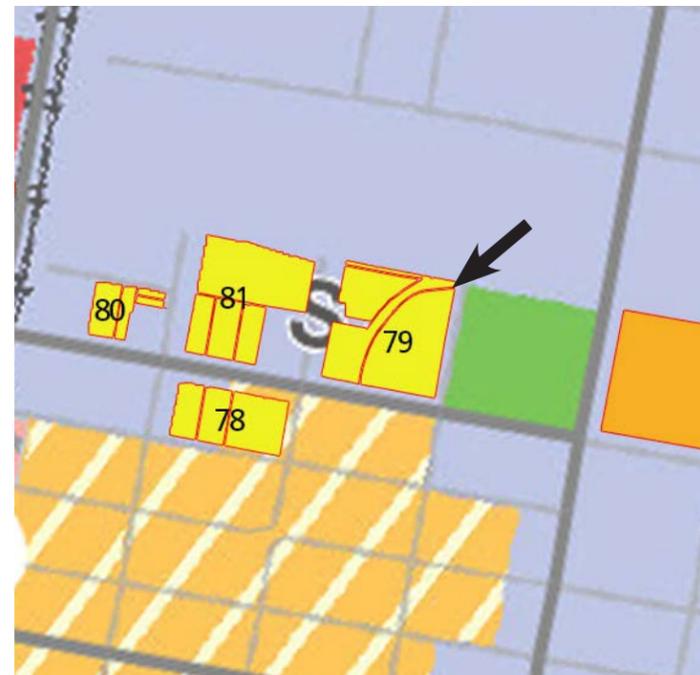


SITE PLAN



PROPERTY INFORMATION							
SITE AREA	ZONE	GENERAL PLAN	SPD	PARKING REQUIRED	HEIGHT ALLOWED	DENSITY ALLOWED	ESTIMATED UNITS
105,947	M-1	Employment Center Low Rise	None	36	70'	30 DU/AC FAR .15 - 1.0	73
BUILDING INFORMATION							
FLOOR AREA	USAGE	COUNT	FAR	PARKING PROVIDED	HEIGHT OBTAINED	DENSITY OBTAINED	LOT COVERAGE
101,776	Residential	72	0.96	110	34' -3"	29.6 DU/AC	Obtained: 41%
	Retail	-					
101,776		72					
44,079	Parking	110					

GENERAL PLAN DESIGNATION MAP



OPPORTUNITY SITE MAP



Opportunity Site 79



RENDERED VIEW 1



RENDERED VIEW 2

**BUILDING INFORMATION**

**BUILDING HEIGHT:** The maximum height is 65 feet. (No portion of building falls within a transitional height zone in which proximity to a R-1, R-1B or R-2 zone would effect maximum allowable height.)

**BUILDING STORIES:** Five stories. Four residential levels over ground floor retail.  
**Front-Yard Setback:** No Minimum. Maximum is 25 feet  
**Street Side-Yard Setback:** No Minimum. Maximum is 25 feet  
**Interior Side-Yard Setback:** None Required  
**Rear-Yard Setback:** None Required

**SETBACKS:**

**STEPBACKS:** None required

**DENSITY:** Density set forth in *Figure CC-2 General Plan Land Use & Urban Form Designations Urban Corridor Low*: 20-110 dwelling units per acre / 0.3-3.0 FAR

**LOT COVERAGE:** There is no lot coverage requirement.

**PARCELS:** Opportunity site is comprised of a single parcel. Currently in use by an auto repair shop. Parking requirements set forth in *Chapter 17.608 of the Sacramento City Code* : Site is located in the *Urban District*  
 - **Multi Unit Dwelling** = .5 space per dwelling unit  
 - **Retail Store** = 1 space per 2,000 square feet of building

**PARKING:** Provided: 45 parking spaces totaling 15,635 sf. One level of parking podium with an amenity deck

**ESTIMATED UNIT COUNT:** Opportunity Sites Unit Estimate: 58.8 Units

**RETAIL:** 3,348 sf of retail provided at the intersection of X St. and 5th St. (No retail requirements)

**OVERLAY ZONES & SPD:** None

**DESIGN RATIONALE**

**Zoning Purpose:** The purpose of the C-2 zone is to provide for the sale of goods; the performance of services, including repair facilities; office uses; dwellings; small wholesale stores or distributors; and limited processing and packaging. *17.216.700*

**Zoning Permitted Uses:** Applicable uses are as follows *17.216.710*  
 Dwelling, multi-unit  
 Retail store

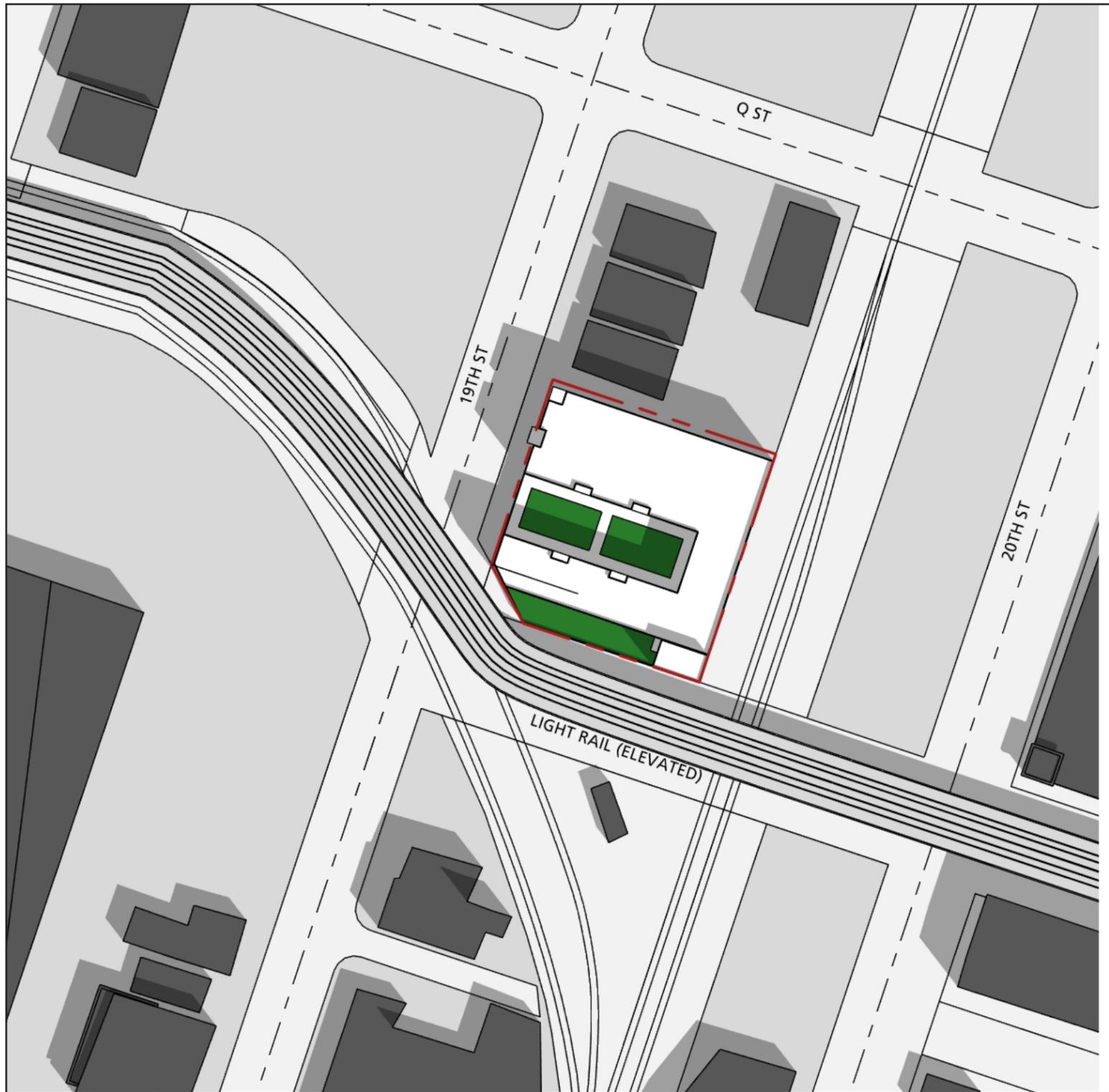
The site has the capacity to have more dwelling units and still comply with the maximum height, but the FAR of 3.0 does permit a higher density than what is shown.

The building has a C-Shape that opens up to the alley. This creates spatial definition on both X St. and 5th St. as well as allowing more sun to enter the open courtyard. The majority of the dwelling units are concentrated on the double loaded wing along 5th St. The single loaded wing on the interior of the site is one story shorter than the rest of the building not only to comply with the FAR maximums, but to allow more sun to reach the rest of the building. The 5th St. wing is the entrance to the residential portion of the building and has a recession in the facade to indicate the lobby entrance.

The ground floor of the 5th St. wing is single loaded to accommodate the parking podium. The parking Podium has an amenity deck accesible to the entire building.

**SITE RECOMMENDATIONS**

Opportunity Site 12 is currently zoned as C-4. Residential use in the C-4 zone is not permitted by right. Recommend re-zoning to C-2, General Commercial Zone. Parcels on south side of Broadway and North side of Highway 305 are zoned as C-2.



SITE PLAN



PROPERTY INFORMATION							
SITE AREA	ZONE	GENERAL PLAN	SPD	PARKING REQUIRED	HEIGHT ALLOWED	DENSITY ALLOWED	ESTIMATED UNITS
27,795	C-2-SPD	Urban Corridor Low	R Str Corridor	34	45'	20 - 110 DU/AC FAR 0.3 - 6.0	51*

BUILDING INFORMATION							
FLOOR AREA	USAGE	UNIT COUNT	FAR	PARKING PROVIDED	HEIGHT OBTAINED	DENSITY OBTAINED	LOT COVERAGE
60,774	Residential	61	2.45	42	45'	97 DU/AC	86%
7,333	Retail	-					
68,107		61					
16,783	Parking	42					

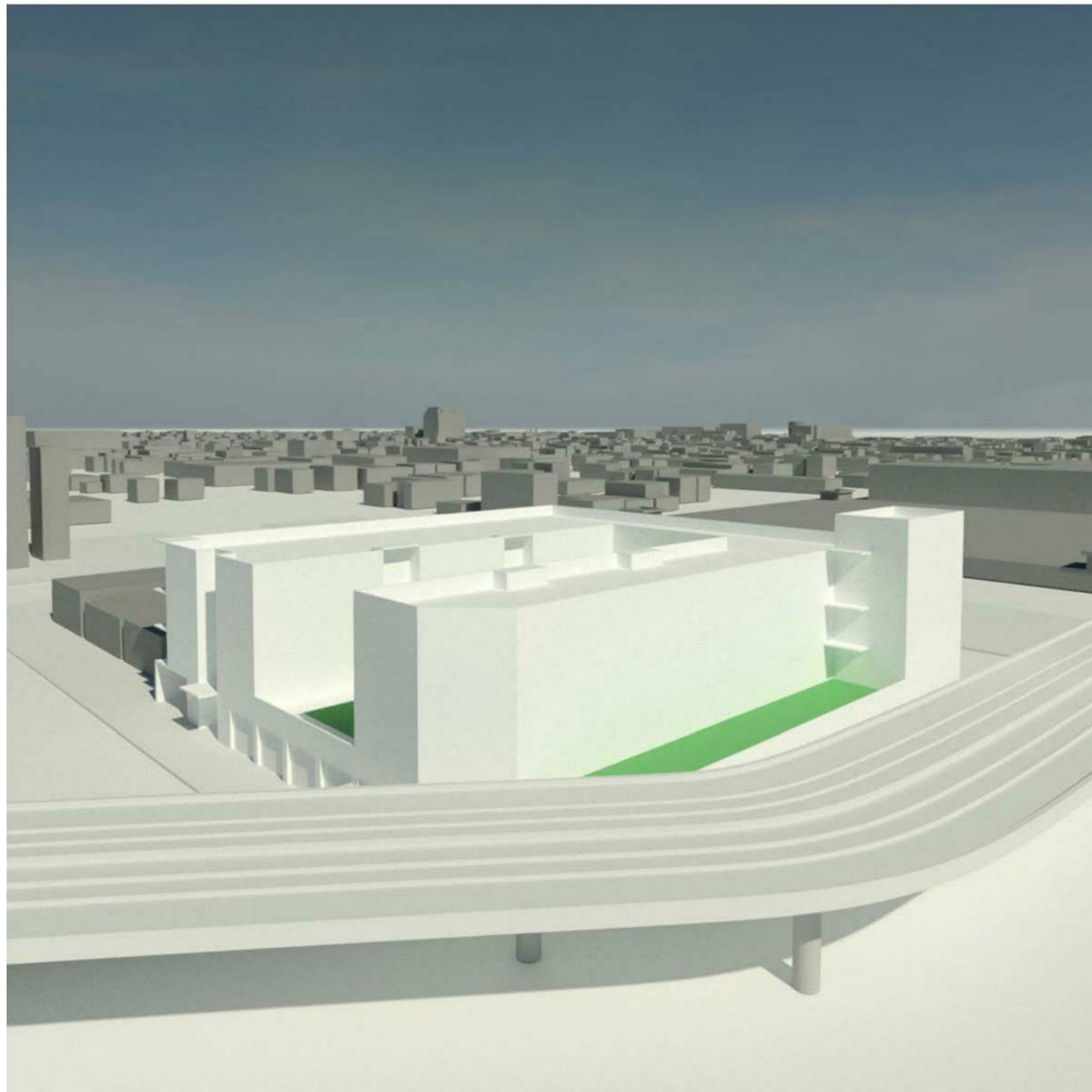
GENERAL PLAN DESIGNATION MAP



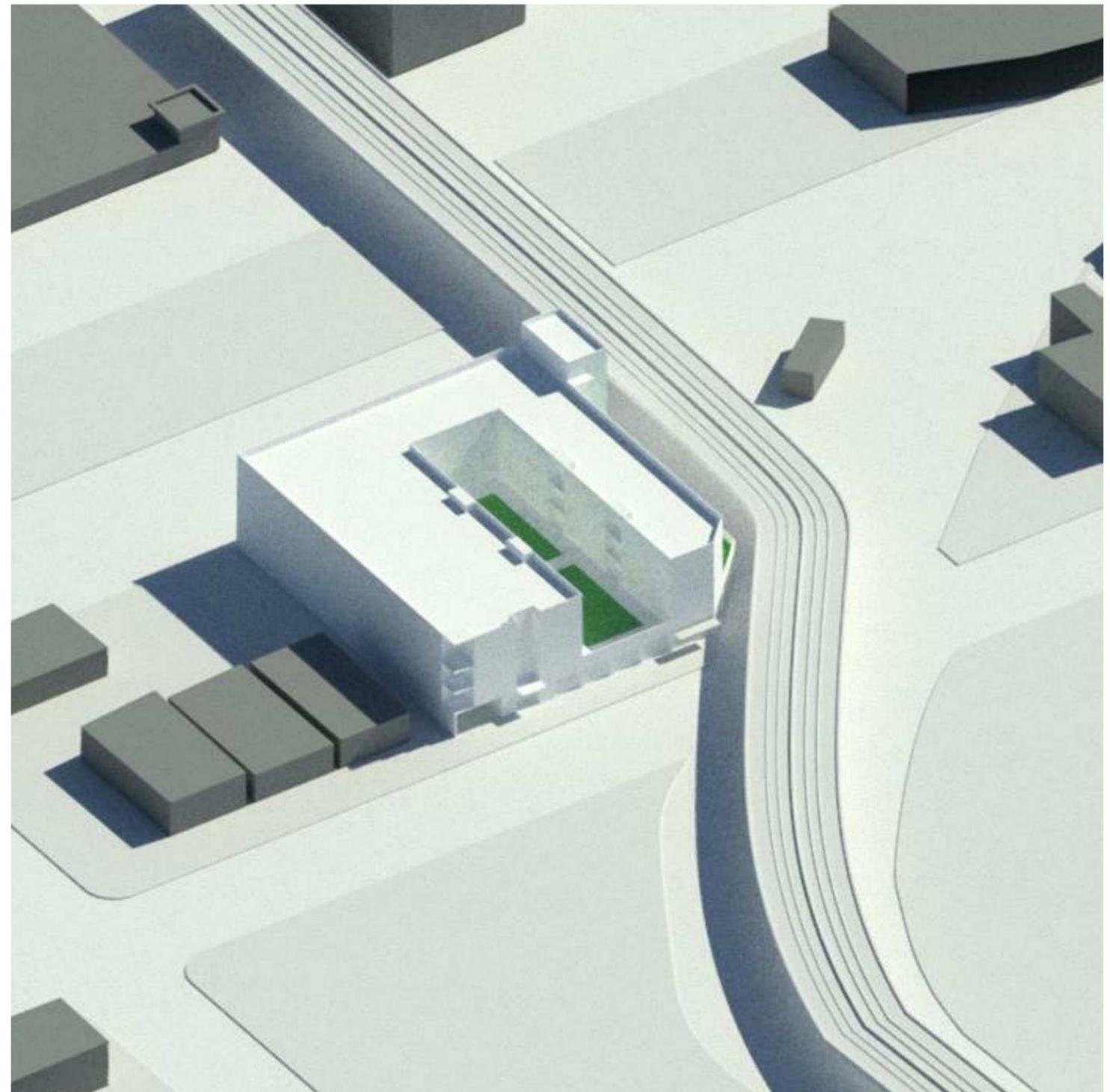
OPPORTUNITY SITE MAP



Opportunity Site 90



RENDERED VIEW 1



RENDERED VIEW 2

## BUILDING INFORMATION

BUILDING HEIGHT:	Per Zone C-2 building height is limited to 45' under R-Street Corridor SPD. Building height obtained 45'.
BUILDING STORIES:	4 stories. 3 residential levels over ground retail and parking.
SETBACKS:	Per C-2 zone no front (maximum 25'), no side (maximum 25'), no rear setback unless adjacent to R-Zone. Building sits at location of existing structure along light rail.
STEPBACKS:	No stepback requirement, proximity to light rail to be confirmed.
DENSITY:	Per Zone C-2 density allowed is 20-110 dwelling units per net acre. 97 dwelling units per acre obtained.
LOT COVERAGE:	There is no lot coverage requirement. 86% of lot covered.
PARCELS:	One parcel on site.
PARKING:	Ground level parking provided. 42 stalls provided per the required 34 stalls for residential and commercial purposes
ESTIMATED UNIT COUNT:	Estimated unit count of 51, proposed unit count at 61.
RETAIL:	Per R-Street Corridor SPD, Retail located at implied intersection of R- Str and 19th Str.
OVERLAY ZONES & SPD:	R- Street Corridor SPD

## DESIGN RATIONALE

The purpose of the C-2 zone is to provide for the sale of goods; the performance of services, including repair facilities; office uses; dwellings; small wholesale stores or distributors; and limited processing and packaging.

Per R-Street Corridor SPD, retail is located at the implied corner of R-Str and 19th Str. Retail lines 19th Str to continue the strip of retail opposite the light rail. The current siting of the building is in line with the current existing structure.

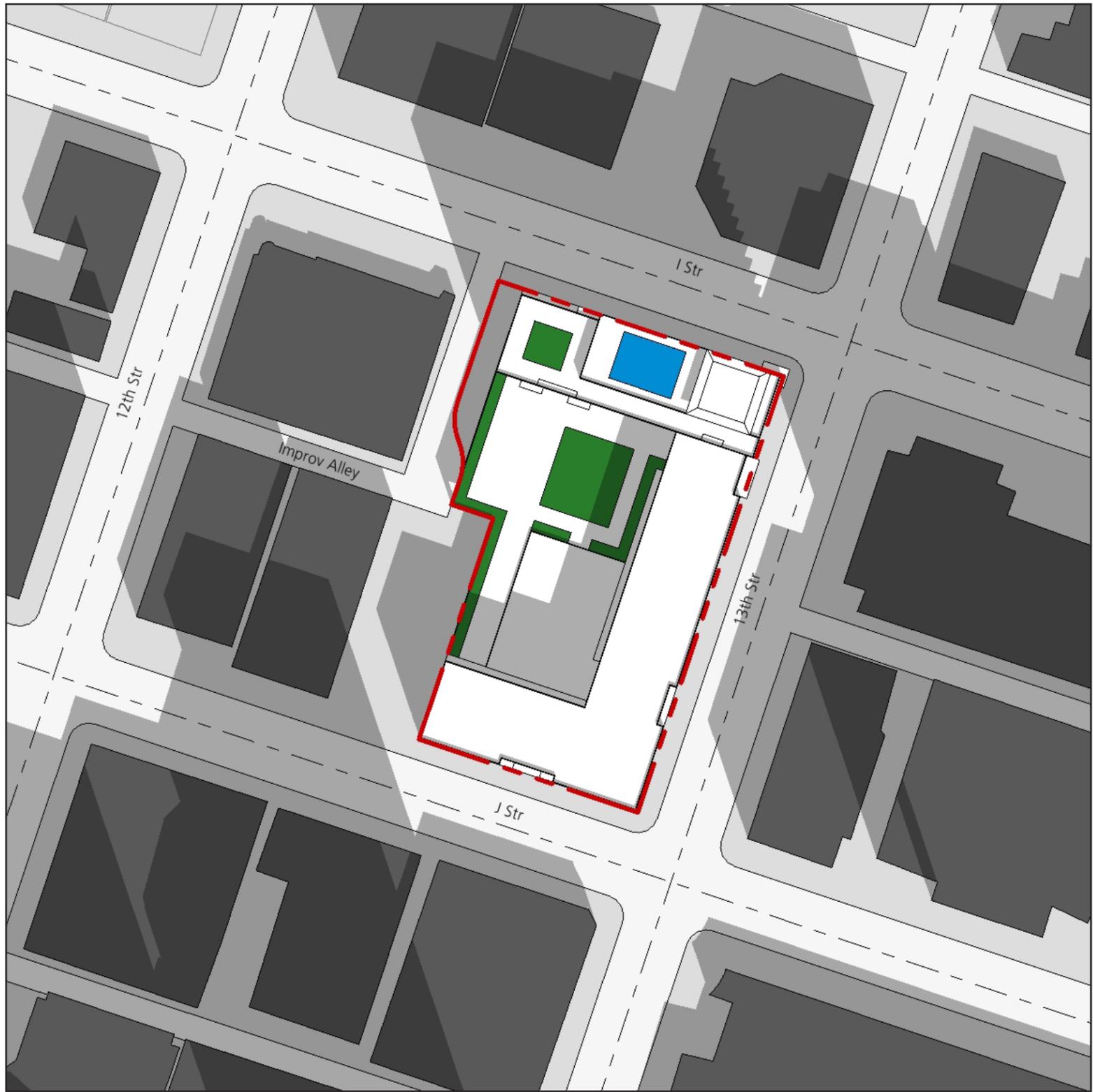
The 3 residential levels above the retail contains an amenity deck which open up to the raised light rail calculated at 22 feet above ground. The top floors are stepped back to to open the upper levels to the amenity deck.

Proximity between residential floors and light rail needs to be reviewed to meet required safe distance for residential units.

## SITE RECOMMENDATIONS

Per C-2 Zone max height is 65'. Per the R-Street Corridor SPD, Zone C-2 is limited to 45' maximum height limit.

Max height of C-2 Zone should be consistent with 65 feet (unless adjacent to residential R-1, R-1B, and R-2 zones) considering R-Street is within proximity of light rail system and should have height bonuses to achieve estimated unit counts.



SITE PLAN

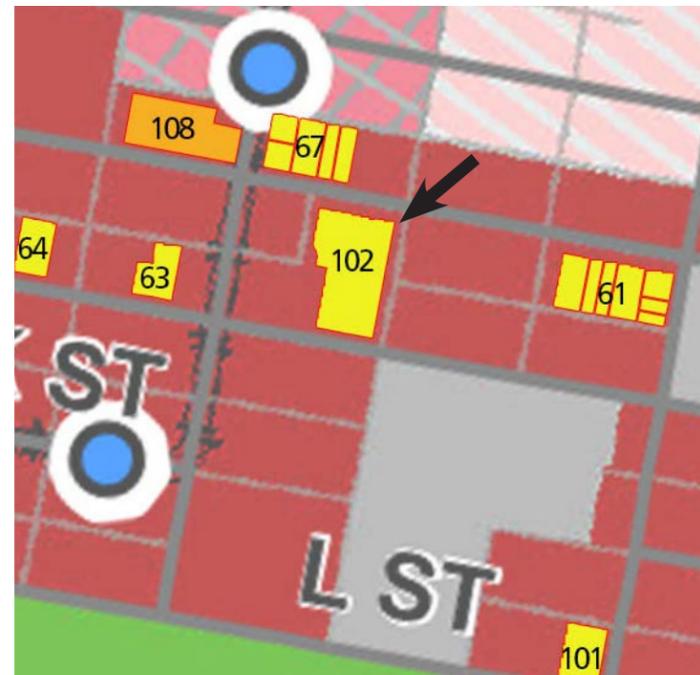


PROPERTY INFORMATION							
SITE AREA	ZONE	GENERAL PLAN	SPD	PARKING REQUIRED	HEIGHT ALLOWED	DENSITY ALLOWED	ESTIMATED UNITS
65,104	C-3	Central Business District	None	0	No Limit	61-450 FAR 3.0-15.0	500

BUILDING INFORMATION							
FLOOR AREA	USAGE	UNIT COUNT	FAR	PARKING PROVIDED	HEIGHT OBTAINED	DENSITY OBTAINED	LOT COVERAGE
379,820	Hotel	542.6					
0	Office	0.0					
0	Residential	0	5.99	157	195' -9"	5.99 FAR	96%
9,988	Retail	-					
389,808		542.6					
62,781	Parking	157					

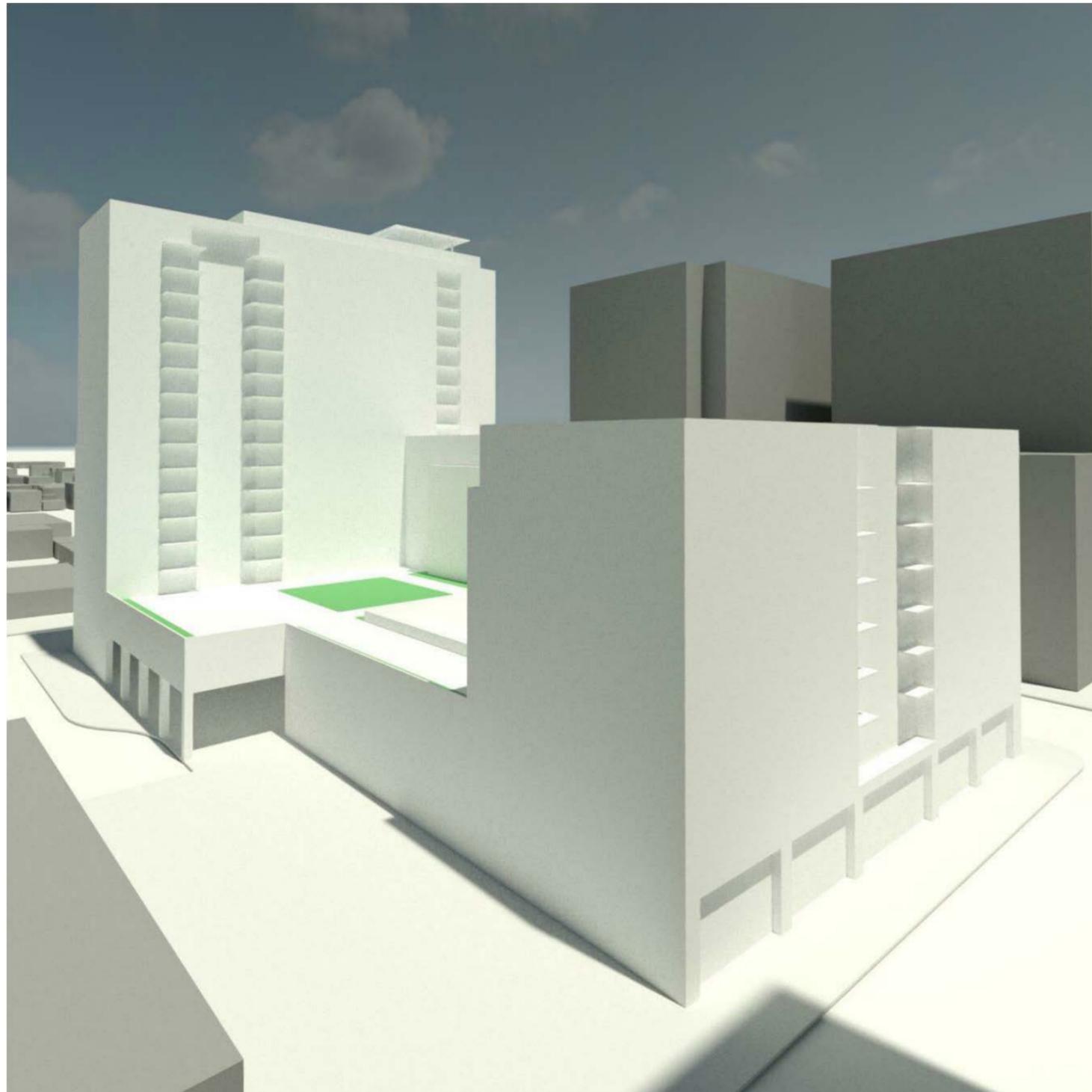
GENERAL PLAN DESIGNATION MAP



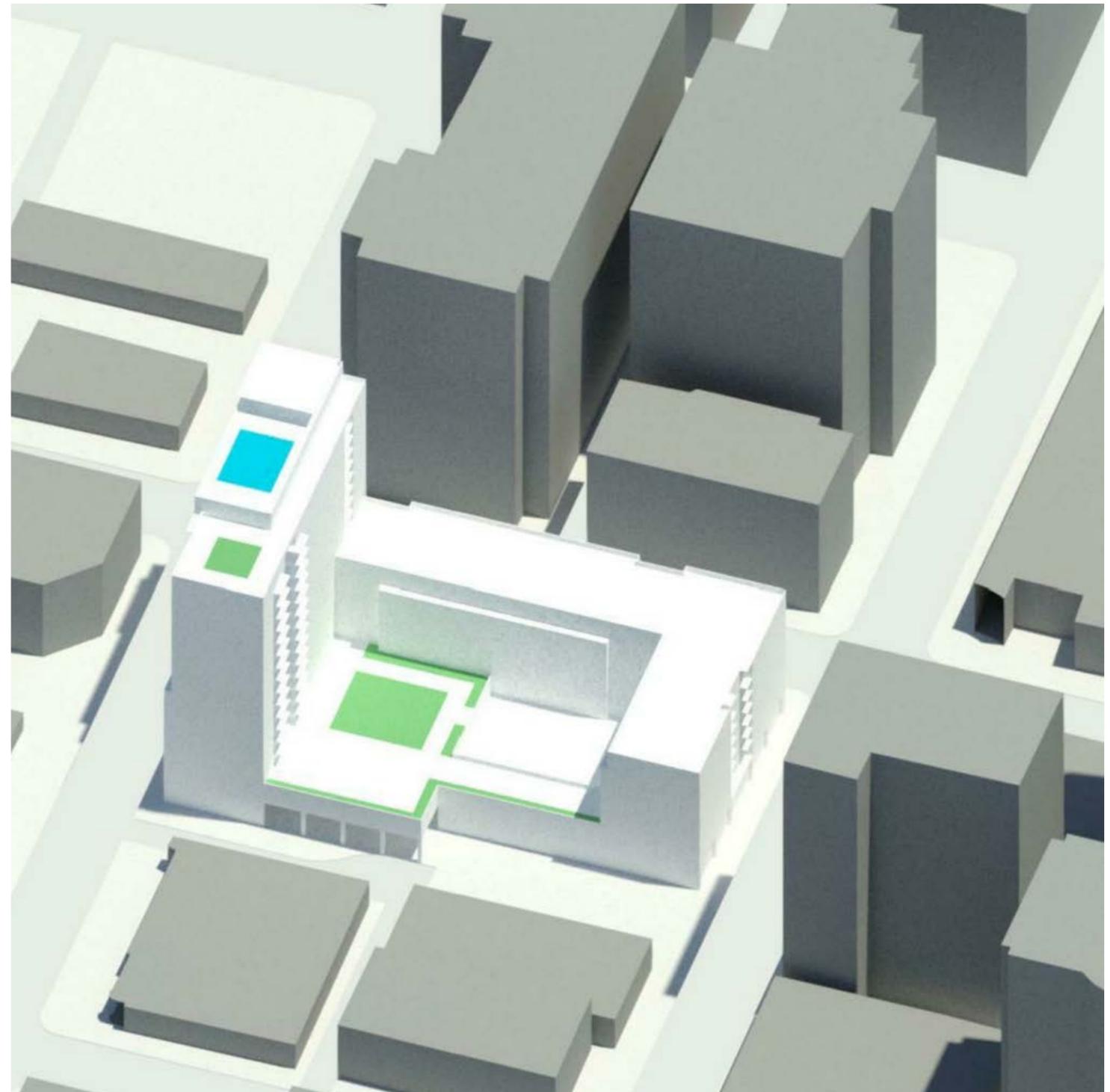
OPPORTUNITY SITE MAP



Opportunity Site 102



RENDERED VIEW 1



RENDERED VIEW 2

## BUILDING INFORMATION

BUILDING HEIGHT:	Per Zone C-3, except as provided in the Capitol View Protection area there are no height limits. Height obtained 195'-9"
BUILDING STORIES:	17 stories. 16 residential levels over ground level amenity and retail level. 1 level of below-grade parking.
SETBACKS:	No front (max 10' setback), no side , no rear setbacks.
STEPBACKS:	Front, and side stepback for commercial, mixed use, and residential towers is the same (none) as the main wall of building base. Rear setback for tower is 40'.
DENSITY:	Per Zone C-3, the maximum density is 450 dwelling units per net acre. Hotel tower does not have dwelling unit density, FAR is 5.99 per General Plan designation CBD.
LOT COVERAGE:	There is no lot coverage requirement.
PARCELS:	One parcel on site.
PARKING:	No parking requirement per zone C-3 CBD, 157 parking stalls provided in one level of below grade parking.
ESTIMATED UNIT COUNT:	Estimated unit count of 500. Current proposed hotel at 542 .
RETAIL:	J street frontage os required to dedicate at least 50% of ground floor building face to retail.
OVERLAY ZONES & SPD:	No overlay zone or SPD.

## DESIGN RATIONALE

The purpose of the C-3 zone—also known and referred to as the central business district (CBD)—is to provide for the most intense residential, retail, commercial, and office developments in the city.

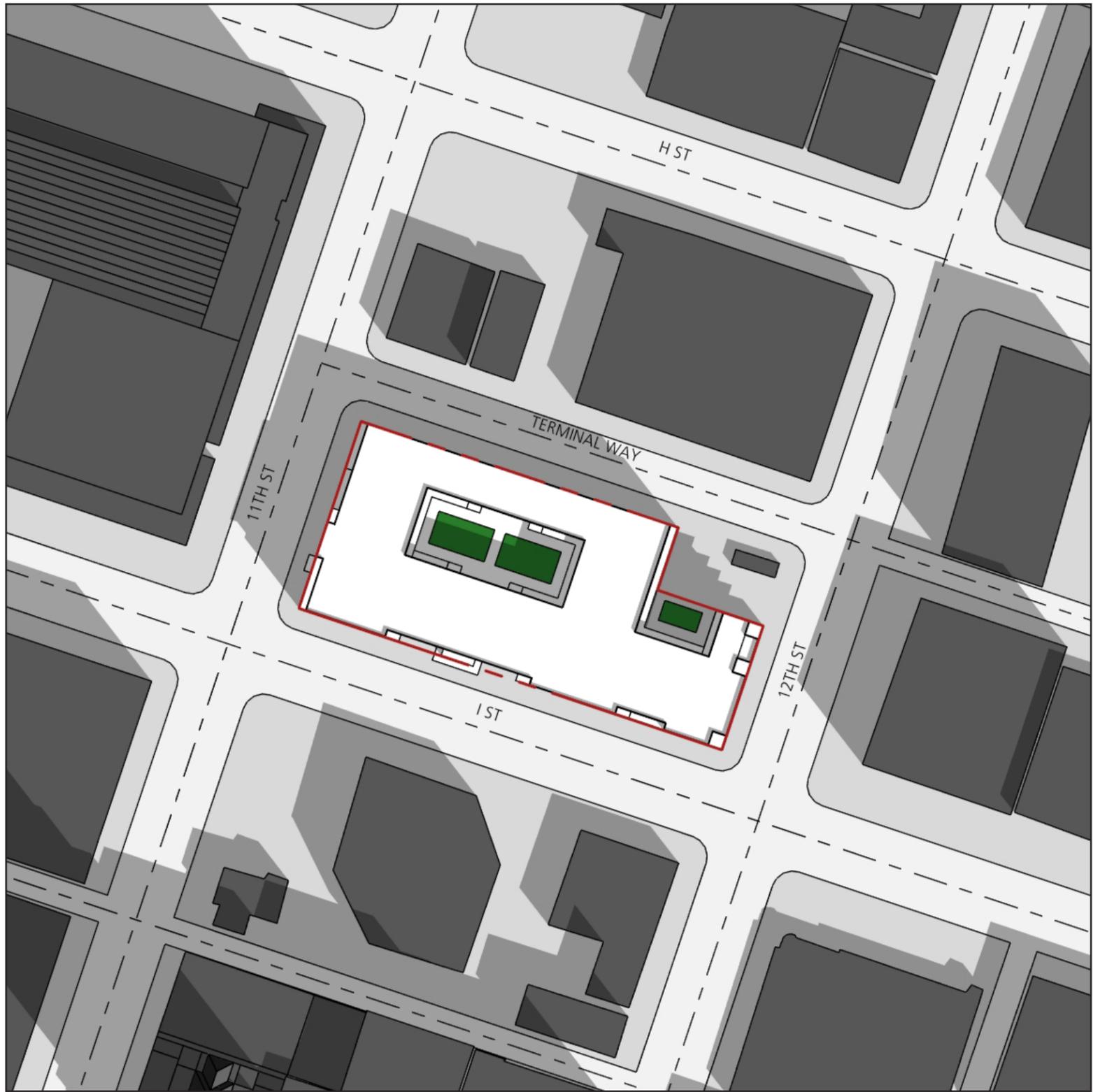
A hotel is permitted under the C-3 zone. The base level houses the entry on 13 Str, the required retail space along J Str, and the car drop-off a the alley.

The L shaped 8 story tower lines 13 Str and J Str. The 17 story tower is postioned on I street as to not cast a shadow over the entire devlopment. A rooftop terrace sits above the 17 story tower and provides views towards the Capitol Mall.

## SITE RECOMMENDATIONS

Site 102 was recommended by the City of Sacramento to be a hotel. Its location in the Central Business District and C-3 zoning allow for the most flexible programming and increased height.

Site 102 is one of the opportunity sites developed running along the proposed Street Car route. The proposed hotel can take full advantage of the Street Car as prime site for downtown Sacramento's Central Core development.

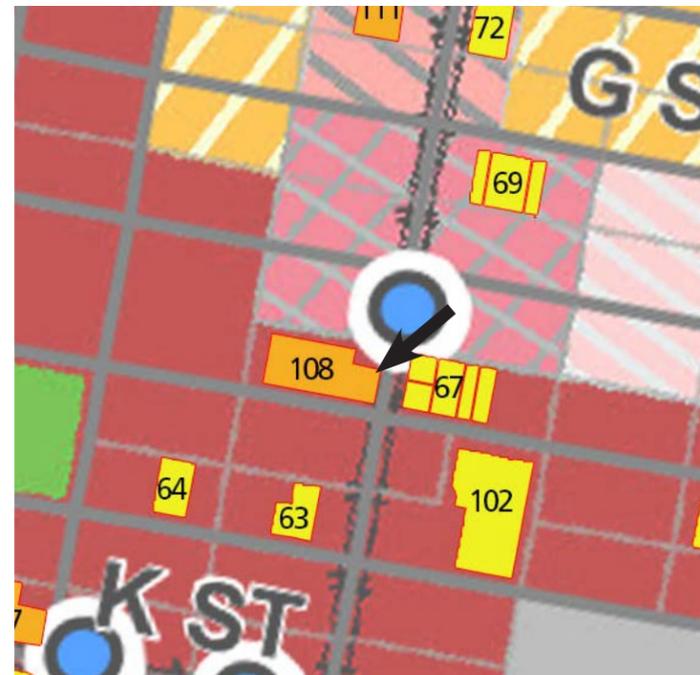


SITE PLAN



PROPERTY INFORMATION							
SITE AREA	ZONE	GENERAL PLAN	SPD	PARKING REQUIRED	HEIGHT ALLOWED	DENSITY ALLOWED	ESTIMATED UNITS
40,875	C-2	Central Business District	None	86	65'	61-450 DU/AC FAR 3.0 -15.0	154*
BUILDING INFORMATION							
FLOOR AREA	USAGE	COUNT	FAR	PARKING PROVIDED	HEIGHT OBTAINED	DENSITY OBTAINED	LOT COVERAGE
141,574	Residential	142	4.08	98	65'	152 DU/AC	96%
25,064	Retail	-					
166,638		142					
39,180	Parking	98					

GENERAL PLAN DESIGNATION MAP



OPPORTUNITY SITE MAP



Opportunity Site 108



RENDERED VIEW 1



RENDERED VIEW 2

*Opportunity Site 108*

## BUILDING INFORMATION

BUILDING HEIGHT:	Max height is 65 feet unless portions of buildings with certain distances of R-1, R-1B, and R-2 zones. 65 foot height obtained.
BUILDING STORIES:	5 Stories. 4 residential levels over retail. 2 story parking garage.
SETBACKS:	No minimum front (Max 25' setback), no minimum side (Max 25'), no rear setback.
STEPBACKS:	No stepback requirement.
DENSITY:	Per Central Business District density allowed is 61-450 dwelling units per net acre. Per zone C-2 minimum and maximum densities are established in the General Plan.
LOT COVERAGE:	Per zone C-2 there is no lot coverage requirement.
PARCELS:	3 parcels on property.
PARKING:	Two level parking garage accessed from 11th street and Terminal Way.
ESTIMATED UNIT COUNT:	Estimated unit count of 154 units. Current proposal contains 142 units.
RETAIL:	Retail limited to 40,000 sf. Current ground level retail calculated at 25,064 sf.
OVERLAY ZONES & SPD:	No overlay zones or SPD.

## DESIGN RATIONALE

The purpose of the C-2 zone is to provide for the sale of goods; the performance of services, including repair facilities; office uses; dwellings; small wholesale stores or distributors; and limited processing and packaging.

Double height Retail lines I Street and 11th Street at the ground level. A two-level parking garage runs parallel to Terminal Way alley, which allows for the residential amenity deck to be carved out of the building mass.

Four double-loaded residential levels sit atop the retail and garage level. A residential wing extends out towards 12th street near the adjacent historical landmark "Jim Dennys" at the corner of the property.

The taller mass at the corner of I Street and 11th Street ties into the commercial intersection and the current view corridor towards the Capitol down 11th Street.

## SITE RECOMMENDATIONS

Due to the high density of the Central Business District area (450 DU/AC), less than half of the density can be obtained under the C-2 zone due to the limiting 65 foot max height limit.

It is recommended that C-2 zone within the CBD should have increased height bonuses to reflect the density allowed under the CBD designation. The site is also within proximity to light rail which should allow for height bonus for C-2 zones.

Due to the proximity of the nearby historical landmark, it is recommended the wing extending towards it should be tiered so that it is not sitting under the development's shadow.