

# City of Sacramento Development Services Department

**Homeowner's Guide to Permits,**

**Session 1**

**Community "Brown Bag" Education**

**Wednesday, September 27, 2006**

# **“Getting our Customers to Success”**

- **Sponsored by the City of Sacramento, Development Services Department**
- **Purpose: To continuously provide our customers with the tools to get them to success!**
- **When: The last Thursday of every month, 12:00pm-1:30pm, January – October**
- **Where: City of Sacramento North Permit Center  
2101 Arena Boulevard, 2<sup>nd</sup> floor Training Room  
Sacramento, CA 95834**

# How it works!

- You bring your brown bag meal
- We provide the topic, refreshments, and cookies
- Please DO ask questions as they arise
- Please DO NOT feel like you are interrupting
- Interaction is important
- General questions are strongly encouraged. However, if you have specific project questions, please hold them for after the meeting!
- Please turn off your cell phone or put on “silent.”
- If you need to go to the restroom, please step out quietly as this session is being recorded

# Speakers

- Richard Heins, Permit Services Manager
- Adrienne Spease, Planning Technician
- Ed Oswell, Building Technician



# Topic: Common Homeowner Projects

- Common improvements that homeowners make
- Reviewed by Planning and Building



# Definitions

- What is a site plan?
  - A drawing to scale that shows exact locations of all structures and driveway / parking pad.
- What is a structure?
  - Anything constructed or erected on the ground or attached to something on the ground, including accessory buildings
- What is a setback?
  - A setback is measured from the property line in towards the wall of a building

# Definitions, continued

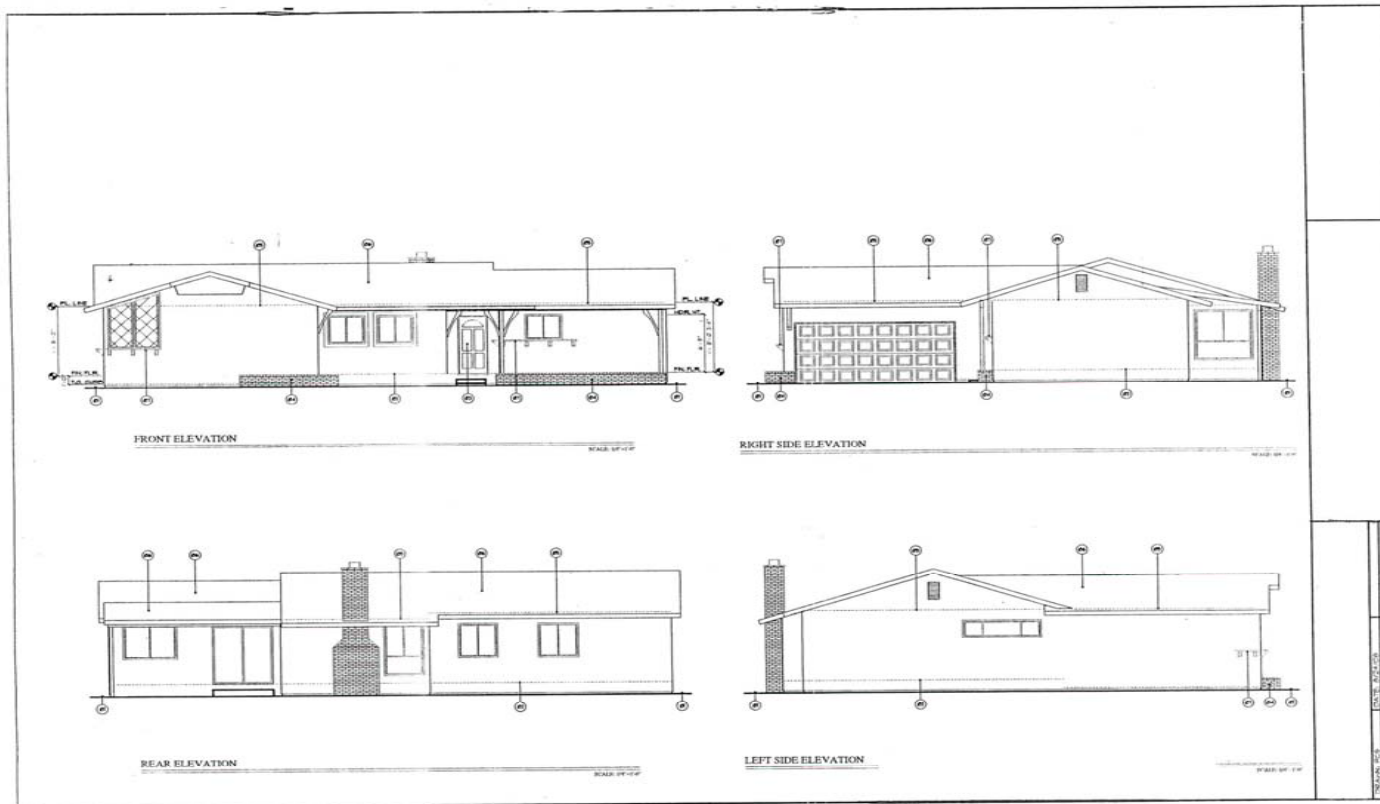
- What is lot coverage?
  - Percentage of a parcel that is covered by structures.
    - For example:

Footprint of residence is:	1495 sq. feet
Footprint of garage is:	792 sq. feet
Footprint of storage shed is:	<u>287 sq. feet</u>
total:	2574 sq. feet
divided by lot size:	<u>7387 sq. feet</u>
lot coverage:	34.8%

# Definitions, continued

- What is an elevation drawing?
  - A drawing showing the exterior vertical elements of a building

# Sample Elevation Drawing



# Design Review & Historic District Criteria

- If your structure is in a designated Design Review or Historic District area, the following apply:
  - Exterior changes, modifications or additions, including window and door change outs, re-roof and air conditioning/heating units (HVAC) need Design Review or Historic District review. This review requires a planning application.

# Common Residential Projects

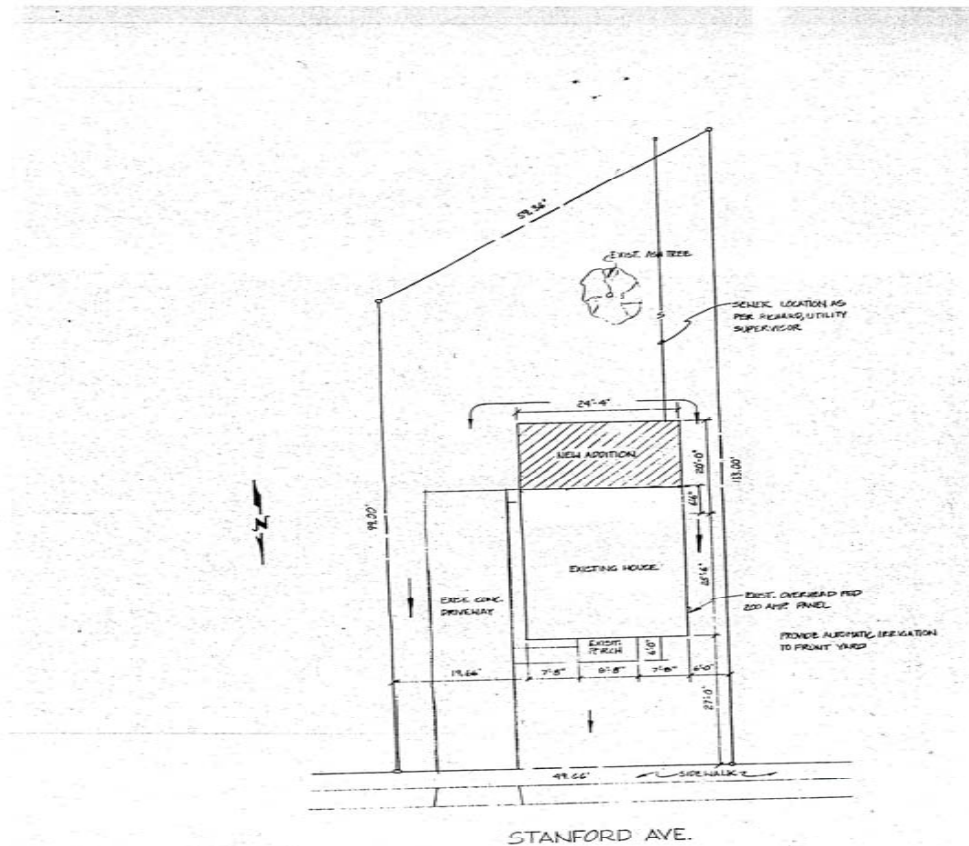
- Additions
- Patio Covers
- Detached Accessory Structures



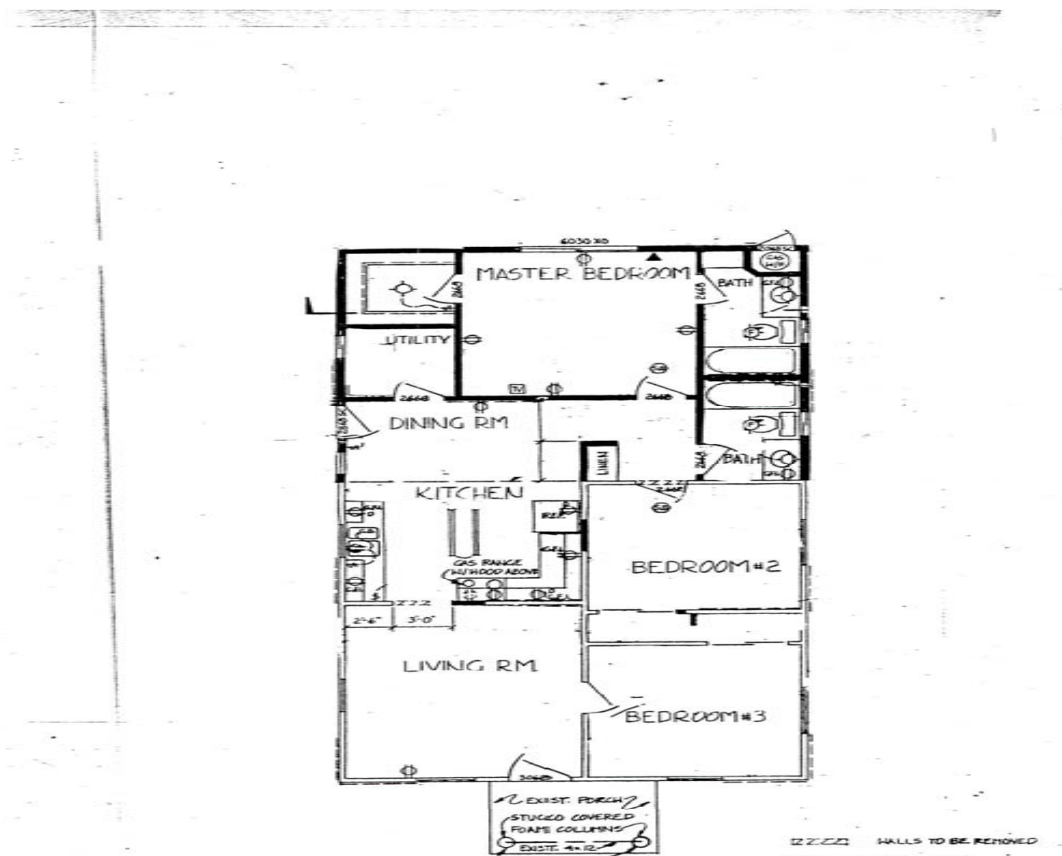
# Additions

- Check Zoning
- Check if in Design Review or Historic District area
- Site Plan to scale
  - Scales (1/4" = 1', or 1/8" = 1', or 1" = 10', or 1" = 20')
  - Measure Setbacks
  - Determine Lot Coverage
- Floor Plan to Scale
  - Make sure that addition has interior connection

# Sample Building Addition Site Plan



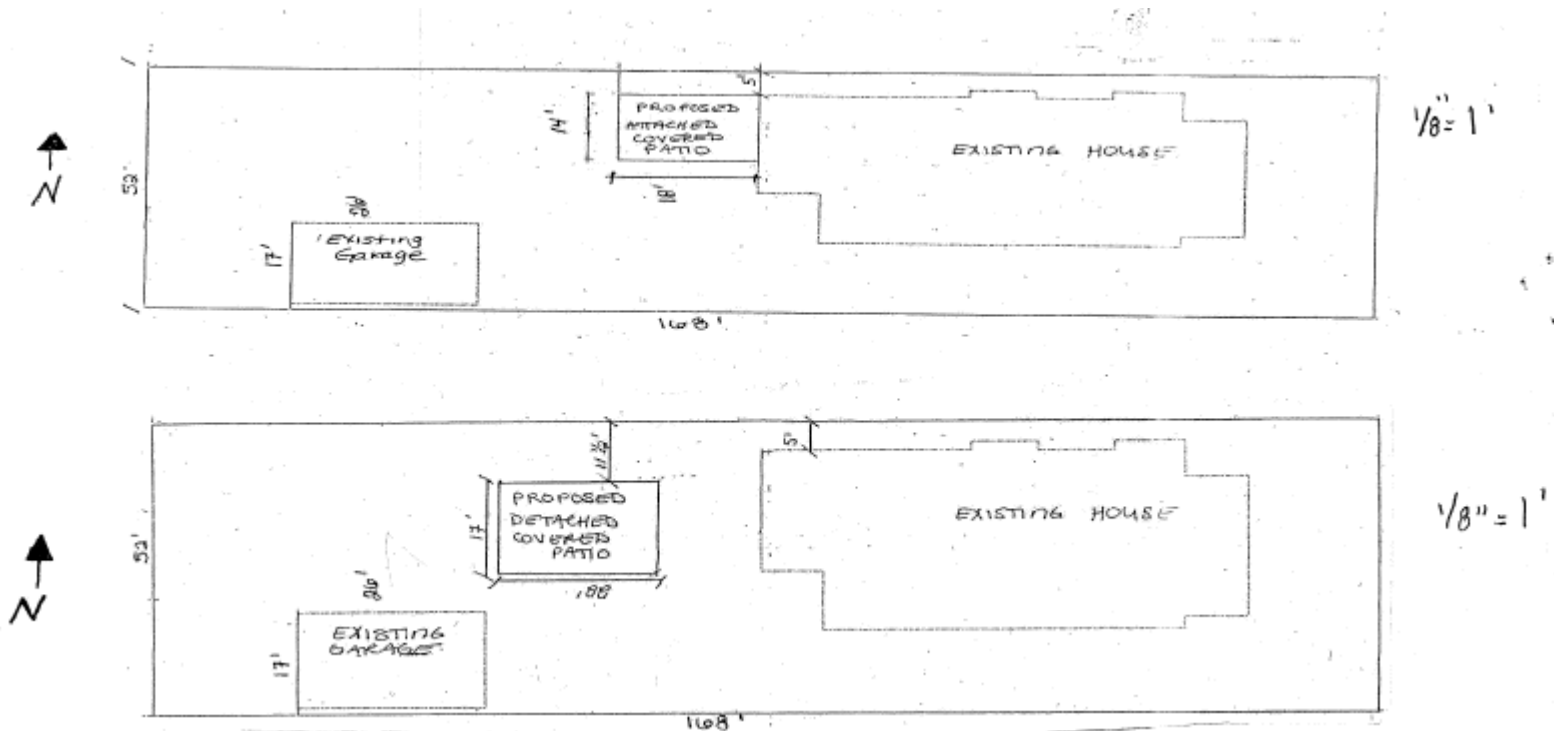
# Sample Building Addition Floor Plan

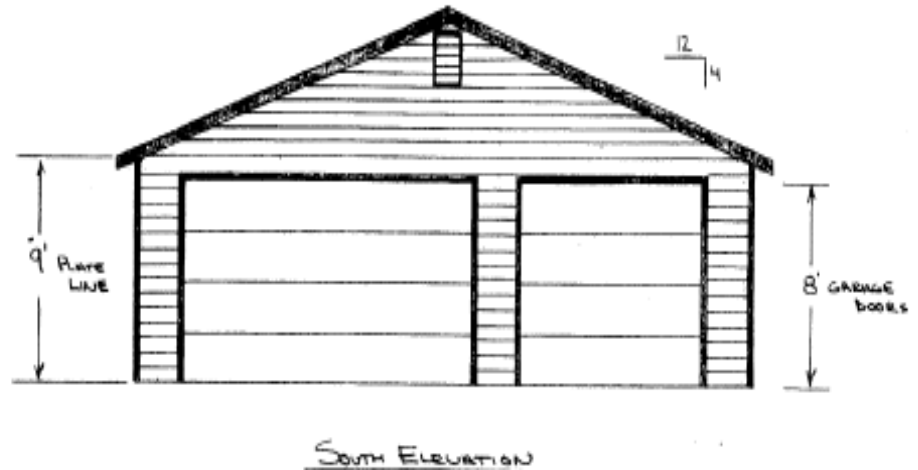


# Patio Covers and Detached Accessory Structures (e.g., gazebo, detached patio cover, and storage sheds)

- Check Zoning
- Check if in Design Review or Historic District area
- Site Plan to scale
  - Scales (1/4" = 1', or 1/8" = 1', or 1" = 10', or 1" = 20')
  - Check setbacks
  - Determine lot coverage
  - Determine lot coverage for required rear yard
  - Minimum distance from main building
  - Height

# Sample of Attached/Detached Patio Cover Site Plan





- Maximum Structure Wall Height
  - Ten (10) feet
- Maximum Height
  - Maximum Overall Height. Eighteen (18) feet to the highest point on the roof.

# When You Need a Building Permit

- Building Code requires permits for construction, alteration, repairs, moves, and demolitions of buildings and structures



# When You Do Not Need a Building Permit (see handout)

## ■ Exemptions

- ❑ One story detached accessory buildings not exceeding 120 square feet (e.g., tool and storage sheds and playhouses)
- ❑ Fences not over 6 feet in height
- ❑ Oil derricks
- ❑ Painting, papering and similar finish work



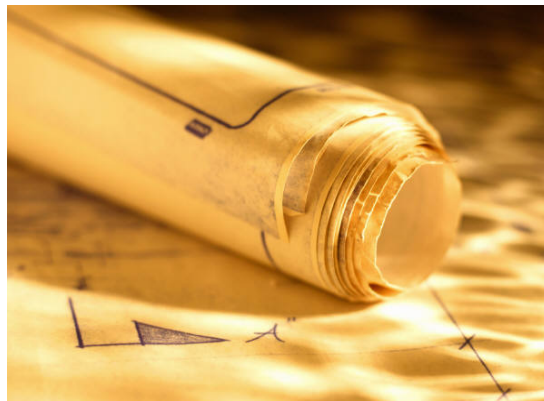
# When You Do Not Need a Permit, cont.

- ❑ Most window awnings
- ❑ Prefabricated swimming pools



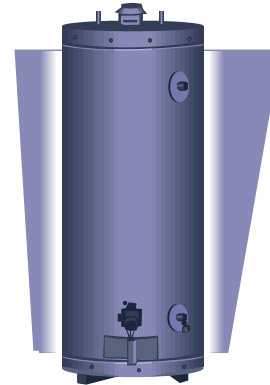
# Minor Permits (over the Counter)

Permits which do not require support documents (e.g. drawings, structural calculations, engineering reports, etc.) are:



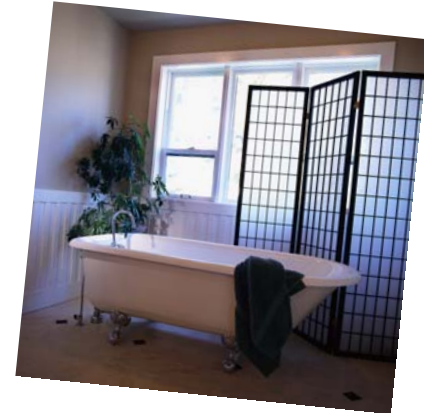
# Minor Permits (over the Counter)

- Reroof (replacing waterproof barrier or sheet lining)
- Heating and air conditioning units (HVAC'S)
- Water heaters
- Minor repairs
- Re-plumb of house



## Minor Permits, cont.

- Electrical panel upgrade
- Rewiring of entire house
- Sewer line repairs or replacements (onsite)
- Water service repairs or replacements (onsite)
- Kitchen/bathroom remodel involving no structural changes
- Like for like-sized window change out



# Other Improvements

Projects which require support documents such as drawings, structural calculations, energy efficiency reports, Truss calculations, etc.

- Additions
- Remodels involving structural modifications to a structure
- Patio covers or patio enclosures
- Space conversions (e.g., attic space to habitable)

# Typical Support Documents

## Drawings:

- Site or Plot Plan
- Elevations
- Foundation Plan
- Roof Framing Plan



## Structural Calculations:

Mathematical formulas/calculations which support an engineer-proposed structural solution.



# **Energy Efficiency Report:**

Required by the Title 24 Energy regulations of California when constructing new habitable or conditioned space.

# When is a Licensed Professional Required ?

- Some projects require licensed engineer or architect.
- Example: If your reroof project proposes to install tile roofing on a roof which previously had wood or composition roofing.
- Licensed contractor





# Field Inspections

- Request inspections prior to work  
Appointments/weekend inspections available for homeowners; call (916) 808-5716
- 1 business day prior to your need for an inspection
- Have the inspection area ready for the Inspector

# Resources

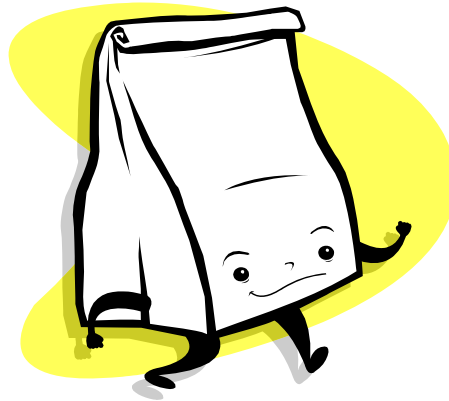


- Planning
  - Planning Help Line, (916) 808-5656, option #3
  - E-mail us at: [planning@cityofsacramento.org](mailto:planning@cityofsacramento.org)
- Building
  - Building Help Line, (916) 808-5656, option #2
  - E-mail us at: [EZpermit@cityofsacramento.org](mailto:EZpermit@cityofsacramento.org)
- Development Services website:  
<http://www.cityofsacramento.org/dsd>
- Contractor's State Licensing Board  
<http://www.cslb.ca.gov>



# Resources, cont.

- Informational material at our Public Permit Counters
- Pre-application meetings
- Public Counter appointments
- Homeowners Night, every Wednesday, 5:30pm-7:30pm
  
- Richard Heins, Permit Services Manager  
(916) 808-8873  
[rheins@cityofsacramento.org](mailto:rheins@cityofsacramento.org)
  
- Adrienne Spease, Planning Technician  
(916) 808-8910  
[aspease@cityofsacramento.org](mailto:aspease@cityofsacramento.org)
  
- Ed (George) Oswell, Building Technician  
(916) 808-8867  
[goswell@cityofsacramento.org](mailto:goswell@cityofsacramento.org)



***Thank you for attending!***  
***Please complete the evaluation form!***

