



**CITY OF SACRAMENTO DESIGN COMMISSION  
RECORD OF DECISION**  
New City Hall, 915 I Street, 3<sup>rd</sup> Floor, Sacramento, CA 95814

Project Name: Little Saigon  
Project Number: DR04-253  
Project Location: Southwest corner of Stockton Boulevard and Riza Avenue  
Assessor's Parcel No.: 039-0201-008,009,010, and 011  
Applicant: Luan Dang, RMW Architects  
Action Status: Approved with amended Conditions Action Date: 06/20/2007

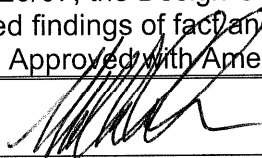
**REQUESTED ENTITLEMENT(S):** A request to approve revisions to the previous Design Review and Preservation Board approval to construct a mixed-use retail and office center in the Broadway/Stockton Design Review District.

**A. Consider previous approval of the Mitigated Negative Declaration ~~Environmental Determination: Mitigated Negative Declaration.~~**

**B. Design Review of new commercial/office development**

**ACTIONS TAKEN:** On 06/20/07, the Design Commission took the following actions based on the attached findings of fact and subject to the attached conditions of approval:  
Action: ~~Approved with Amended Conditions.~~


Action certified by:

  
William Crouch, AIA, FRAIA, NCARB, Urban Design Manager

Sent to Applicant:

6/22/07

By:

  
Staff Signature

**NOTICE OF PROTEST RIGHTS**

The above conditions include the imposition of fees, dedications, reservations, or other exactions. Pursuant to California Government Code section 66020, this Notice of Decision serves as written notice to the project applicant of (1) the amount of any fees and a description of any dedications, reservations, or exactions imposed, and (2) that the applicant may file a protest against the imposition of those fees, dedications, reservations, or other exactions within 90 days of the date of this approval, which is deemed to be the date that the fees, dedications, reservations, or other exactions are imposed. If the payment of a fee is imposed as a condition of approval, but the amount of the fee is not stated in this Notice of Decision and is not otherwise available to the applicant on a fee schedule or otherwise, the 90 days protest period will begin to run when the applicant is notified of the amount of the fee.

For purposes of this notice, the following fees are deemed to be imposed upon approval of the first discretionary entitlement for the subject development project and are subject to the protest procedures set forth in Title 18 of the Sacramento City Code as indicated: North Natomas Public Facilities Fee, Transit Fee, and Drainage Fee (SCC 18.24.160); North Natomas Land Acquisition Fee (SCC 18.24.340); North Natomas School Facilities Fee (SCC 18.24.710); Jacinto Creek Planning Area Facilities Fee (SCC 18.28.150); Willow Creek Project Area Development

Fee (SCC 18.32.150); Development Impact Fees for the Railyards, Richards Boulevard, and Downtown Areas (SCC 18.36.150); Habitat Conservation Fee for the North and South Natomas Community Plan Areas (18.40.090); and Park Development Impact Fee (18.44.140).

The time within which to challenge a condition of approval of a tentative subdivision map, including the imposition of fees, dedication, reservation, or other exaction, is governed by Government Code section 66499.37

#### **EXPIRATION**

**TENTATIVE MAP:** Failure to record a final map within three years of the date of approval or conditional approval of a tentative map shall terminate all proceedings.

**SPECIAL PERMIT:** A use for which a Special Permit is granted must be established within three years after such permit is issued. If such use is not so established, the Special Permit shall be deemed to have expired.

**VARIANCE:** Any variance involving an action which requires a building permit shall expire at the end of three years unless a building permit is obtained within the variance term.

**PLAN REVIEW:** Any plan review shall expire at the end of three years unless a building permit is obtained within the plan review term.

**DESIGN REVIEW:** The approval shall be deemed automatically revoked unless required permits have been issued and construction begun within two years of the date of the approval. Prior to expiration, an extension of time may be granted by the Commission upon written request of the applicant.

**NOTE:** Violation of any of the foregoing conditions will constitute grounds for revocation of this permit. Building permits are required in the event any building construction is planned. The County Assessor is notified of actions taken on rezoning, special permits and variances.

#### **APPEALS**

Appeals of the Design Commission decision of this item to the City Council must be filed at 915 I Street, New City Hall, 3rd Floor, within 10 calendar days of this meeting, on or before 07/02/2007. If the 10<sup>th</sup> day falls on a Saturday, Sunday or holiday, the appeal may be filed on the following business day.

### **Findings Of Fact**

**A. Environmental Determination:** *The modifications made to the project will not create any significant changes that would impact the previously approved Mitigated Negative Declaration. ~~This project will not have a significant effect on the environment and is categorically exempt from environmental review pursuant to the California Environmental Quality Act Guidelines, Section 15332(b).~~*

**B. The Design Review** request to approve revisions to the previous Design Review Preservation Board approval to construct a mixed-use retail and office center, subject to the following Findings of Fact and Conditions of Approval:

1. The project, as conditioned, enhances the surrounding neighborhoods
2. The project, as conditioned, will complement structures in the vicinity.
3. The project is based upon sound principles of land use in that the proposed use is allowed in the General Commercial Special Planning District (C-2-SPD) zone and includes conditions addressing building, site design and signage.

4. The proposed use will be consistent with the objectives of the City of Sacramento General Plan.

### **Conditions Of Approval**

- A. **The design of the site (see plans attached) is hereby approved subject to the following conditions. These conditions must be met prior to Building Permit submittal:**
  1. 18' high pole lighting shall be provided per approved plans. Final lighting cut sheets and details shall be provided to Design Review staff prior to issuance of final building permits.
  2. Transformers shall be screened from pedestrian views with landscaping.
- B. **The design of the building (see plans attached) is hereby approved subject to the following conditions. These conditions must be met prior to Building Permit submittal:**

#### **Building A:**

1. Single barrel roofs shall replace double barrel roofs at stair towers.
2. The connection bridge shall provide a barrel arch roof, and shall remove arch spanning buildings.
3. Entries shall be provided per approved plans.
4. Raised parapet shall be increased between grids E thru G at the South Elevation.
5. A continuous parapet cap shall be provided instead of previously approved variegated parapet cap.
6. Northeast and Southeast corners shall be redesigned per approved plans.
7. Additional brick veneer shall be provided at tower elements per approved plans.
8. Stairs shall be relocated per approved plans at the Building A1 and A2 connection point.
9. Lintel shall be provided per approved plans.
10. Signage shall be submitted separately for review and approval prior to issuance of a sign permit.

## Building D:

1. Single barrel roofs shall replace double barrel roofs per approved plans.
2. Decorative plant-on shall be removed per approved plans.
- C. **The design of the signage is hereby approved subject to the following conditions. These conditions must be met prior to the issuance of a building permit:**

1. Applicant shall submit a sign program to Design Review staff for review and approval prior to issuance of a building permit.

## D. General Conditions

1. All previous Design Review and Preservation Board conditions still apply.
2. Modifications to Buildings B, C, and E shall be reviewed by **Design Review Staff** ~~the Design Commission~~ in a separate submittal, **and not subject to further Design Commission Review.**
3. All final details affecting the exterior building design that are not determined at the time of the Design Commission's final review shall be reviewed and approved by Design Commission prior to issuance of building permits.
4. **All required new and revised plans shall be submitted for review and approval by Design Review staff prior to issuance of building permits. A set of the appropriate plans (reduced to 11 x 17 set) along with a Letter of Compliance with these conditions shall be submitted directly to Design Review Staff prior to Building Permit submittal. All necessary planning entitlements shall have been approved by the Planning Commission or the Zoning Administrator prior to final Design Review sign-off of plans.**
5. No building permit shall be issued until the expiration of the 10 day appeal period. If an appeal is filed, no permit shall be issued until final approval is received.
6. The applicant and the owners of all properties adjoining the subject property have the right to appeal this decision to the City Council. Appeals must be filed within 10 days of written notice of the Design Commission action.
7. **The approval shall be deemed automatically revoked unless required permits have been issued and construction begun within two years of the date of the approval. Prior to expiration, an extension of time may be granted by the Design Commission upon written request of the applicant.**
8. All other notes and drawings on the final plans as submitted by the applicant are

deemed conditions of approval. Any changes to the final set of plans stamped by Design Review staff shall be subject to review and approval prior to any changes. Applicant shall comply with all current building code requirements.