

DIRECTOR REPORT

STAFF RECOMMENDATION

Staff recommends the Zoning Administrator **approve** a Major Modification to a Conditional Use Permit for a Gas Station, for the project known as **P23-023**. Draft Findings of Fact and Conditions of Approval for the project are included below.

REQUESTED ENTITLEMENTS

1. **Conditional Use Permit – Major Modification** to add 2 fuel dispensers to an existing gas station for a total of 6 fueling dispensers.
2. **Site Plan and Design Review** for the removal and replacement of an existing gas canopy in the General Commercial (C-2) zone.

PROJECT INFORMATION

Location: 4221 Raley Boulevard
Parcel Number: 237-0173-036-0000
Council District: 2 – Represented by Mayor Steinberg
Applicant: Glenna Mahar, Barghausen Consulting Engineers, Inc.
18215 72nd Ave S,
Kent, WA 98032
Property Owner: Larkin Trust, Care of City National Bank
555 S Flower St. Fl 12,
Los Angeles, CA 90071
Project Planner: Jose Quintanilla, Associate Planner, (916) 808-5879
Hearing Date: January 25, 2024

Land Use Information

General Plan Designation: Suburban Neighborhood Low Density (SNLD)
Community Plan Area: North Sacramento
Specific Plan: N/A
Zoning: C-2 (General Commercial)
Special Planning District: N/A
Planned Unit Development: N/A
Design Review Area: Citywide
Parking District: Suburban
Historic District: N/A
Existing Land Use of Site: Gas Station and Convenience Store

Surrounding Zoning and Land Uses

North:	R-1	Residential
South:	R-1	Assembly
East:	R-1A-SPD	Residential
West:	R-1	Residential

Site Characteristics

Existing Property Area:	31,651 square feet / 0.73 acres
Topography:	Flat
Street Improvements:	Existing
Utilities:	Existing

Other Information

Previous Files:	Z06-263; P98-128
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ATTACHMENTS

Attachment 1: Project Plans

Attachment 2: Conditions of Approval, Z06-263; P98-128

BACKGROUND

The project site is located at the southwest corner of Raley Boulevard and Youngs Avenue and north of Interstate 80 in North Sacramento. The site is developed with a gas station and convenience store. A gas station has operated on the site since the 1970s and has a deemed conditional use permit for gasoline sales. The site was approved for Planning entitlements in September 1999 to remodel the service station and to construct a new convenience store (P99-128). In April 2007, a modification to the prior approval was approved which included a request to remodel the gas station and convenience store. There was no change in building size, or the gas canopy. Changes were limited to exterior materials and signage.

PROPOSED PROJECT AND ANALYSIS

The applicant is requesting entitlements to remove and replace the existing gas canopy and the four existing fueling dispensers. Two of the existing four dispensers will be reused, and two new additional dispensers will be installed for a total of six dispensers (capable of fueling 12 vehicles simultaneously). All dispensers are being upgraded to dispense diesel as well. The canopy over the pump area would be replaced with a new canopy large enough to cover all six dispensers. No additional changes to the site are proposed.

Conditional Use Permit (CUP)

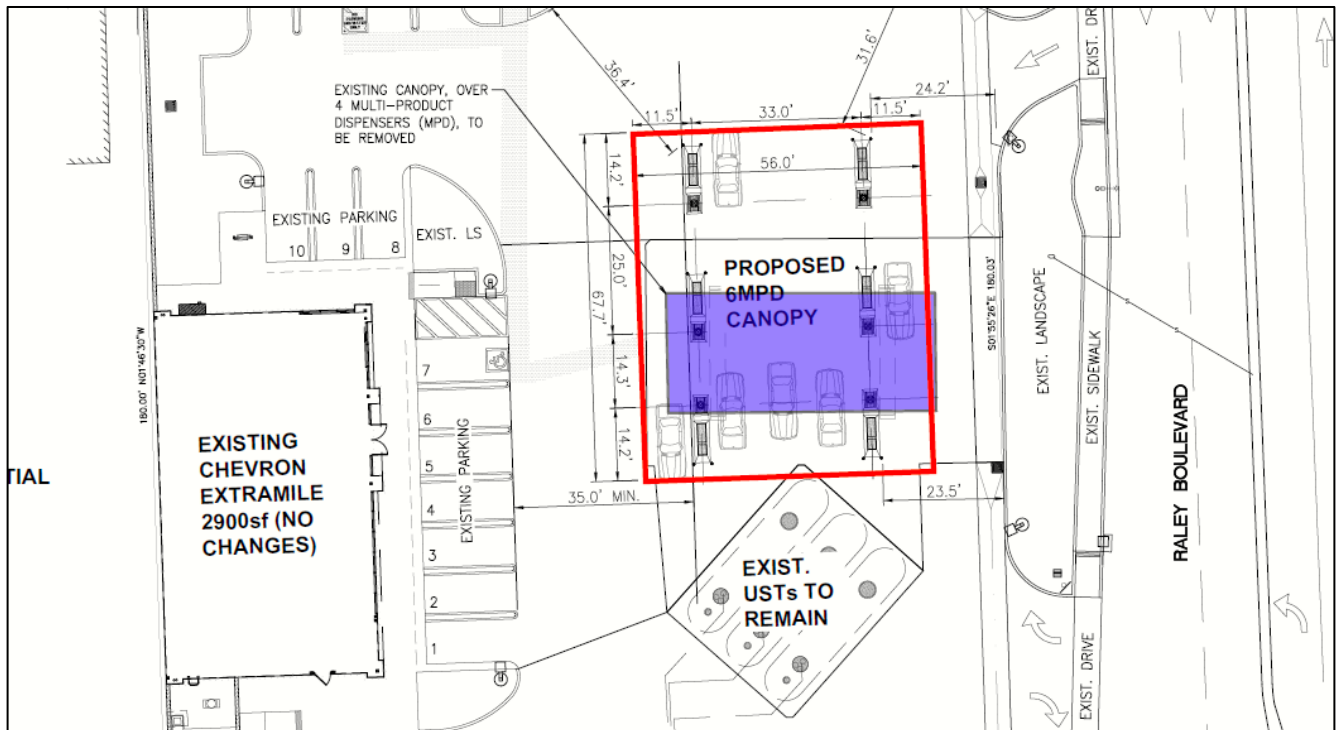
The subject site is located in the General Commercial zone (C-2). The approval of a major modification to the deemed Conditional Use Permit (CUP) is required to allow for the addition of two new dispensers and a new canopy. Per City Code Section (SCC) 17.808.440, a modification of approved terms and conditions of a conditional use permit is discretionary and can be classified as either a major or minor modification, SCC Section 17.808.440.A.2 states that a major modification, such as any material changes in the orientation or location of structures on the parcel, is one that will result in a change in the nature of the project.

Because this project is increasing the number of fueling dispensers and removing and replacing an existing canopy, the requested modification is a major modification. Major modifications require a public hearing before the Zoning Administrator.

Site Plan and Design Review

Site Plan and Design Review is required for the project to ensure compliance with applicable development standards and design guidelines. The project is in the General Commercial zone (C-2). Additionally, commercial development in the City of Sacramento is guided in accordance with the goals and principles established in the City's Citywide Commercial Design Guidelines (Design Guidelines).

Figure 1 - Proposed Canopy (Red Outline) and Old Canopy (Blue Box)



In evaluating this project, the new canopy and fuel islands were evaluated against the development requirements of this zone. The proposed fuel canopy is larger but generally located in the same location as the canopy it is replacing, Figure 1, above, shows the location of the old and new canopies. As shown in Table 1, below, the project does not request any deviations from design or development standards.

Table 1: Applicable C-2 Development Standards (New Fueling Canopy)			
Standard	Required	Provided	Deviation
Height	65 feet	20 feet	N
Front Setback	N/A	43.5 feet	N
Street Side-yard Setback	N/A	9 feet	N
Rear Setback	15 feet	66 feet	N
Interior Setbacks	5 feet	94 feet	N

PUBLIC/NEIGHBORHOOD OUTREACH AND COMMENTS

This project was routed to North Sacramento Chamber of Commerce, Rancho Del Paso Neighborhood Association, Robla Neighbors United, Robla Park Community Association, Preservation Sacramento, Civic Thread, Sacramento Area Bicycle Advocates, and Region Builders.

Staff received no comments.

All property owners and residents within 500 feet of the subject site, as well as the neighborhood association, were mailed a notice of public hearing prior to the hearing. The site was posted with project information after submittal and prior to the Public Hearing.

ENVIRONMENTAL DETERMINATION

Environmental Planning Services of the Community Development Department has reviewed this project and determined to be exempt from review under the California Environmental Quality Act (CEQA) under Class 1, Section 15301, Existing Facilities, which consists of the operation, repair or minor alteration of existing public or private structures, facilities or mechanical equipment involving negligible or no expansion of existing or former use, and Class 3, Section 15303, New Construction or Conversion of Small Structures.

FLOOD HAZARD ZONE

State Law (SB 5) and Planning and Development Code chapter 17.810 require that the City must make specific findings prior to approving certain entitlements for projects within a flood hazard zone. The purpose is to ensure that new developments will have protection from a 200-year flood event or will achieve that protection by 2025. The project site is within a flood hazard zone and is an area covered by SAFCA's Improvements to the State Plan of Flood Control System, and specific findings related to the level of protection have been incorporated as part of this project. Even though the project site is within a flood hazard zone, the local flood management agency, SAFCA, has made adequate progress on the construction of a flood protection system that will ensure protection from a 200-year flood event or will achieve that protection by 2025. This is based on the SAFCA Urban level of flood protection plan, adequate progress baseline report, and adequate progress toward an urban level of flood protection engineer's report that were accepted by City Council Resolution No. 2016-0226 on June 21, 2016, and the SAFCA 2023 Adequate Progress Annual Report accepted by City Council Resolution No. 2023-0337 on October 24, 2023.

FINDINGS OF FACT

- A. **Environmental Exemptions: California Environmental Quality Act (CEQA) Guidelines, Section 15301, Class 1, Existing Facilities, and Section 15303, Class 3, New Construction or Conversion of Small Structures.** Based on the determination and recommendation of the City's Environmental Planning Services Manager and the oral and documentary evidence received at the hearing on the project, the Zoning Administrator finds that:
1. Class 1, Existing Facilities, applies to the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of existing or former use.

2. Class 3 consists of: a. Construction and location of limited numbers of new, small facilities or structures; b. Installation of small new equipment and facilities in small structures; and c. The conversion of existing small structures from one use to another where only minor modifications are made in the exterior of the structure. This project is consistent with Class 3 in that the gas station is rebuilding a slightly larger fuel canopy and two new fuel dispensers. There is no change in use.

B. **Conditional Use Permit – Major Modification** to add 2 fuel dispensers to an existing gas station for a total of 6 fueling dispensers is **approved** based on the following Findings of Fact:

1. The proposed use and its operating characteristics are consistent with the general plan and any applicable specific plan or transit village plan in that the site has a 2035 General Plan designation of Suburban Neighborhood Low Density which allows for neighborhood-serving commercial on lots three acres or less.
2. The proposed use and its operating characteristics are consistent with the applicable standards, requirements, and regulations of the zoning district in which it is located, and of all other provisions of this title and this code in that the use is existing and is legally operating with a deemed Conditional Use Permit (CUP), allowed in the General Commercial zone whereby this approval acknowledges a major modification to said CUP.
3. The proposed use is situated on a parcel that is physically suitable in terms of location, size, topography, and access, and that is adequately served by public services and utilities in that the use is existing and is currently served by public services, and utilities.
4. The proposed use and its operating characteristics are not detrimental to the public health, safety, convenience, or welfare of persons residing, working, visiting, or recreating in the surrounding neighborhood and will not result in the creation of a nuisance in that the use is existing and has been adequately conditioned for harmonious operation with nearby uses, including nearby residential.

C. **Site Plan and Design Review** for the removal and replacement of an existing gas canopy in the General Commercial (C-2) zone is **approved** based on the following Findings of Fact:

1. The design, layout, and physical characteristics of the proposed development are consistent with the general plan and any applicable specific plan or transit village plan in that uses in the Suburban Neighborhood Low Density designation envisions higher density uses near major transit routes, lower lot coverage, and focusing on enhancing the existing environment. This gas station is located near the Raley Boulevard exit on Interstate 80. The project proposes the modernization of the existing pumps and fueling station. The use is existing, and all changes will occur within the existing development footprint.
2. The design, layout, and physical characteristics of proposed development are consistent with all applicable design guidelines and with all applicable development standards in that the proposed expansion of the fuel canopy and fuel dispensers comply with the applicable development standards in the C-2 zone and the Citywide Design Guidelines.
3. All streets and other public access ways and facilities, parking facilities, and utility infrastructure are adequate to serve the proposed development in that the gas station and

convenience store are existing and served by utilities, public roadways, and vehicle parking.

4. The design, layout, and physical characteristics of the proposed development are visually and functionally compatible with the surrounding neighborhood in that the on-site structures have previously been reviewed for conformity with the existing neighborhood and the modernization of the fuel canopy and the fuel pumps have been found to be consistent with the Citywide Design Guidelines.
5. The design, layout, and physical characteristics of the proposed development ensure energy consumption is minimized and use of renewable energy sources is encouraged. All new construction is subject to the California Building Code, including the California Green Code.
6. The design, layout, and physical characteristics of the proposed development are not detrimental to the public health, safety, convenience, or welfare of persons residing, working, visiting, or recreating in the surrounding neighborhood and will not result in the creation of a nuisance in that the use is existing and the expansion is minimal in which there is adequate space and maneuverability onsite to accommodate the addition of two new fuel pumps and a larger fuel canopy.

CONDITIONS OF APPROVAL

- B. **Conditional Use Permit – Major Modification** to add 2 fuel dispensers to an existing gas station for a total of 6 fueling dispensers is **approved** subject to the following Conditions of Approval:

PLANNING

- B1. The applicant shall comply with ALL previously approved conditions of approval (Z06-263 and P98-128) except where superseded by the Conditions of Approval under this approval.
- B2. Development shall comply with the Site Plan and Design Review conditions of approval.
- B3. No amplified sound is permitted outdoors. The operator is responsible for ensuring customers do not amplify sound.
- B4. The operator shall be responsible for the daily removal of all litter from the site.
- B5. The following “Good Neighbor” measures shall be implemented by the applicant and any operator:
- a. Establish a process for neighbors to communicate directly with management staff should there be any problems or issues.
 - b. Provide signage at the building’s storefront that includes a 24-hour emergency contact person and phone numbers on-site that is located in a clearly identified place and kept up to date.
- B6. Trash receptacles shall be placed at the fuel islands for use by customers.
- B7. No mechanical auto repair or auto body repair shall take place on the premises.

- B8. Any modification to the project shall be subject to review and approval by Planning Staff prior to the issuance of building permits. Any significant modification to the project may require additional planning entitlements.
- B9. The applicant shall obtain all applicable permits for the sale of fuel.

PUBLIC WORKS

- B10. Garbage pick-up and truck delivery services shall be prohibited within the hours of 7am to 9am and 4pm to 6pm.

UTILITIES

- B11. The applicant must comply with the City of Sacramento's Grading, Erosion and Sediment Control Ordinance. This ordinance requires the applicant to show erosion and sediment control methods on the construction drawings. These plans shall also show the methods to control urban runoff pollution from the project site during construction.
- B12. Post construction (permanent), stormwater quality control measures shall be incorporated into the development to minimize the increase of urban runoff pollution caused by development of the area. Proposed gas canopy shall conform to the fueling areas design requirements of the latest Sacramento Region Stormwater Quality Design Manual.

SMUD

- B13. SMUD has existing underground 12kV facilities on north side of parcel and crossing Raley Blvd that will need to remain. The Applicant shall be responsible for maintaining all CalOSHA and State of California Public Utilities Commission General Order No. 128 safety clearances during construction and upon building completion. If the required clearances cannot be maintained, the Applicant shall be responsible for the cost of relocation.
- B14. Any necessary future SMUD facilities located on the Applicant's property shall require a dedicated SMUD easement. This will be determined prior to SMUD performing work on the Applicant's property.
- B15. In the event the Applicant requires the relocation or removal of existing SMUD facilities on or adjacent to the subject property, the Applicant shall coordinate with SMUD. The Applicant shall be responsible for the cost of relocation or removal.
- B16. SMUD reserves the right to use any portion of its easements on or adjacent to the subject property that it reasonably needs and shall not be responsible for any damages to the developed property within said easement that unreasonably interferes with those needs.
- B17. The Applicant shall not place any building foundations within 5-feet of any SMUD trench to maintain adequate trench integrity. The Applicant shall verify specific clearance requirements for other utilities (e.g., Gas, Telephone, etc.).
- B18. The Applicant shall comply with SMUD siting requirements (e.g., panel size/location, clearances from SMUD equipment, transformer location, service conductors). Information regarding SMUD siting requirements can be found at: <https://www.smud.org/en/Business-Solutions-and-Rebates/Design-and-Construction-Services>.

SACSEWER

- B19. The subject property is outside the boundaries of SacSewer but within the Urban Service Boundary and Sacramento Regional County Sanitation District (Regional San) boundaries. Regional San will provide ultimate conveyance and treatment of the sewer generated from this site, but the City of Sacramento Utilities Department's approval will be required for local sewage service.

SMAQMD

- B20. Due to public health risks posed by exposure to asbestos, demolition and renovation of existing buildings is subject to Sac Metro Air District Rule 902, to limit asbestos exposure during these activities. Sac Metro Air District staff is available to review notifications and answer asbestos related questions, either by emailing asbestos@airquality.org, or calling 279-207-1122.

ADVISORIES

- B21. BUILDING DIVISION: The plans should provide detailing to demonstrate compliance with Section 11B-228.1 of the 2022 California Building Code.
- B22. BUILDING DIVISION: Include and detail any necessary path of travel upgrades in the future building permit plan set, if required per 11B-202.4 of the 2022 California Building Code.
- B23. DOU: The proposed project is located in a Zone X on the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Maps (FIRMs). Accordingly, the project site lies in an area with no requirements to elevate or flood proof.
- B24. DOU: The applicant is responsible for the protection and repair of the City water mains during construction of the proposed structure. Contact Underground Service Alert at 1-800-642-2444, 48 hours before work is to begin.
- B25. SMAQMD: Due to the addition of two fuel dispensers, please note that gasoline dispensing facilities (GDFs) are required to obtain an Authority to Construct and Permit to Operate from the Sac Metro Air District. The installation of a California Air Resources Board certified vapor recovery system is also required. The Sac Metro Air District will conduct a health risk assessment for the GDF which may limit the gasoline throughput to meet allowable health risk levels.
- For GDF application instructions and forms visit: <http://www.airquality.org/businesses/permits-registration-programs/permit-applications-recordkeepingadvisories/> gasoline-dispensing-facility. If you have any questions on GDFs, please contact Steve Mosunic, Program Supervisor with Sac Metro Air District's Permitting Section, at 279-207-1137 or smosunic@airquality.org.
- B26. SACSEWER: Prior to the ISSUANCE OF A BUILDING PERMIT: The owner must contact Permit Services Unit at PermitServices@sacsewer.com or by phone at (916) 876-6100 to determine if Regional San impact fees are due. Fees are to be paid prior to the issuance of building permits.

- C. **Site Plan and Design Review** for the removal and replacement of an existing gas canopy in the General Commercial (C-2) zone is **approved** subject to the following Conditions of Approval:

PLANNING/DESIGN REVIEW

- C1. The applicant shall comply with ALL previously approved conditions of approval (Z06-263 and P98-128) except where superseded by the Conditions of Approval under this approval.
- C2. This approval is for the remodeling of the existing gas station limited to the removal and replacement of the existing fueling canopy and the addition of two fuel pumps.
- C3. Development of this site shall be in compliance with the approved plans. Any modification to the project shall be subject to additional planning review and may require subsequent entitlements prior to the issuance of building permits.
- C4. The canopy elevations shall have a consistency of detail and quality as indicated on the plans. If there are any discrepancies between the exhibits and the conditions, the conditions will take precedence. All notes and drawings on the included plans as submitted by the applicant are deemed conditions of approval. Any work that differs from the final set of plans approved by Planning staff shall be subject to review and approval prior to the issuance of a building permit or work undertaken.
- C5. The applicant shall obtain all necessary building and encroachment permits prior to commencement of construction. No permits shall be issued within the 10-day appeal period.
- C6. Signs were not reviewed as part of the review and approval of the proposed project. All signs shall require review and approval by Design Review and shall conform to the sign ordinance and require sign permit issuance.
- C7. Mechanical equipment shall be screened from all street views. Final plans indicating size and location of units shall be reviewed and approved by planning staff prior to issuance of building permits to ensure full compliance with the requirement to fully screen all mechanical equipment.
- C8. Where site mechanical equipment and utility vaults are incorporated into the project site including, but not limited to generators, SMUD transformers, fire pump, etc., shall be reviewed and approved by Design Review staff prior to issuance of Building Permits. Backflow prevention devices shall be placed at a location that will minimize street and pedestrian views. The applicant shall submit final site mechanical locations for review and approval by Design Review staff prior to Building Permit submittal.
- C9. Project lighting shall comply with all applicable Sacramento City Code requirements. Fixtures shall be unobtrusive and complementary to the architectural design of the site. Wall pack and shoe box lighting are not permitted. Lighting shall be designed to not produce hazardous and annoying glare to motorists and building occupants, adjacent residents, or the general public. All fixtures should be placed in a manner that avoids glare when observed from the street or other public areas.

- C10. Contractor and design team shall contact Planning Site Conditions unit (Brad Marchetti – bmarchetti@cityofsacramento.org) for a Pre-construction meeting prior to any grading or construction activities on-site.
- C11. Planning In-progress inspections (93) shall be called for prior to the following Building Inspections: 10 Bldg-Foundation Forms, 12 Bldg-Concrete Slab Forms, and 19 Bldg-Frame. An 89 Planning Final shall be called for prior to 29 Building Final.
- C12. Provide the following design elements at all elevations as shown on the approved plans:

PUBLIC WORKS

- C13. Construct standard public improvements as noted in these conditions pursuant to Title 17 of the City Code. Improvements shall be designed to City Standards and assured as set forth in Section 17.502.130 of the City Code. All improvements shall be designed and constructed to the satisfaction of the Department of Public Works. Any public improvement not specifically noted in these conditions shall be designed and constructed to City Standards. This shall include the repair or replacement/reconstruction of any existing deteriorated curb, gutter and sidewalk adjacent to the subject property per City standards to the satisfaction of the Department of Public Works.
- C14. All existing driveways shall be designed and constructed to City Standards to the satisfaction of the Department of Public Works.
- C15. The site plan shall conform to A.D.A. requirements in all respects. This shall include the replacement of any curb ramp that does not meet current A.D.A. standards on the southwest corner of Youngs Avenue & Raley Blvd.
- C16. The site plan shall conform to the parking requirements set forth in City Code 17.608.040.
- C17. The design of walls, fences and signage near intersections and driveways shall allow stopping sight distance per Caltrans standards and comply with City Code Section 12.28.010 (25' sight triangle). Walls shall be set back 3' behind the sight line needed for stopping sight distance to allow sufficient room for pilasters. Landscaping in the area required for adequate stopping sight distance shall be limited to 3.5' in height at maturity. The area of exclusion shall be determined by the Department of Public Works.

UTILITIES

- C18. The applicant must comply with the City of Sacramento's Grading, Erosion and Sediment Control Ordinance. This ordinance requires the applicant to show erosion and sediment control methods on the construction drawings. These plans shall also show the methods to control urban runoff pollution from the project site during construction.
- C19. Post construction (permanent), stormwater quality control measures shall be incorporated into the development to minimize the increase of urban runoff pollution caused by development of the area. Proposed gas canopy shall conform to the fueling areas design requirements of the latest Sacramento Region Stormwater Quality Design Manual.

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- C27. Due to public health risks posed by exposure to asbestos, demolition and renovation of existing buildings is subject to Sac Metro Air District Rule 902, to limit asbestos exposure during these activities. Sac Metro Air District staff is available to review notifications and answer asbestos related questions, either by emailing asbestos@airquality.org, or calling 279-207-1122.

ADVISORIES

- C28. BUILDING DIVISION: The plans should provide detailing to demonstrate compliance with Section 11B-228.1 of the 2022 California Building Code.
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- For GDF application instructions and forms visit: <http://www.airquality.org/businesses/permits-registration-programs/permit-applications-recordkeepingadvisories/> gasoline-dispensing-facility. If you have any questions on GDFs, please contact Steve Mosunic, Program Supervisor with Sac Metro Air District's Permitting Section, at 279-207-1137 or smosunic@airquality.org.
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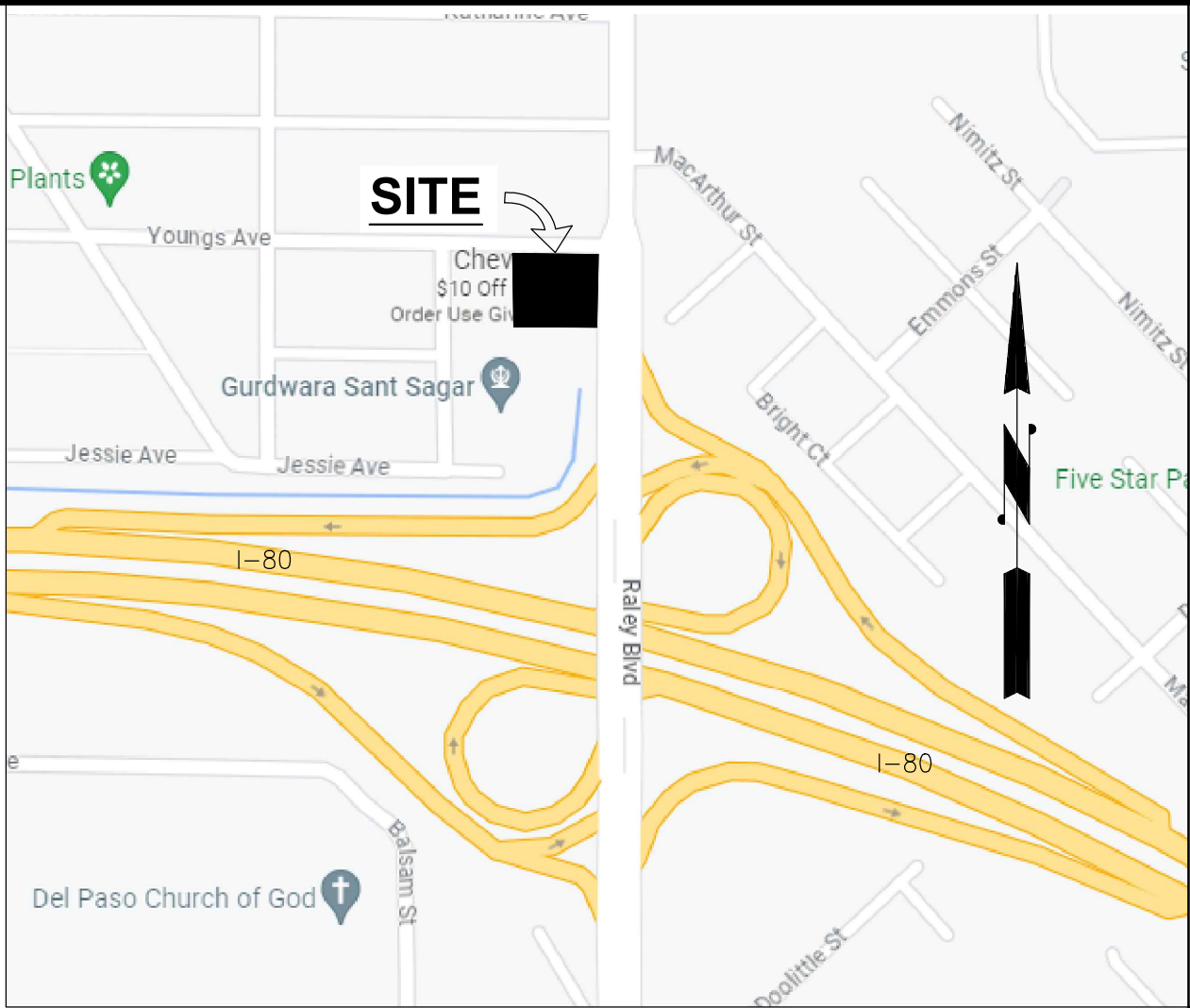
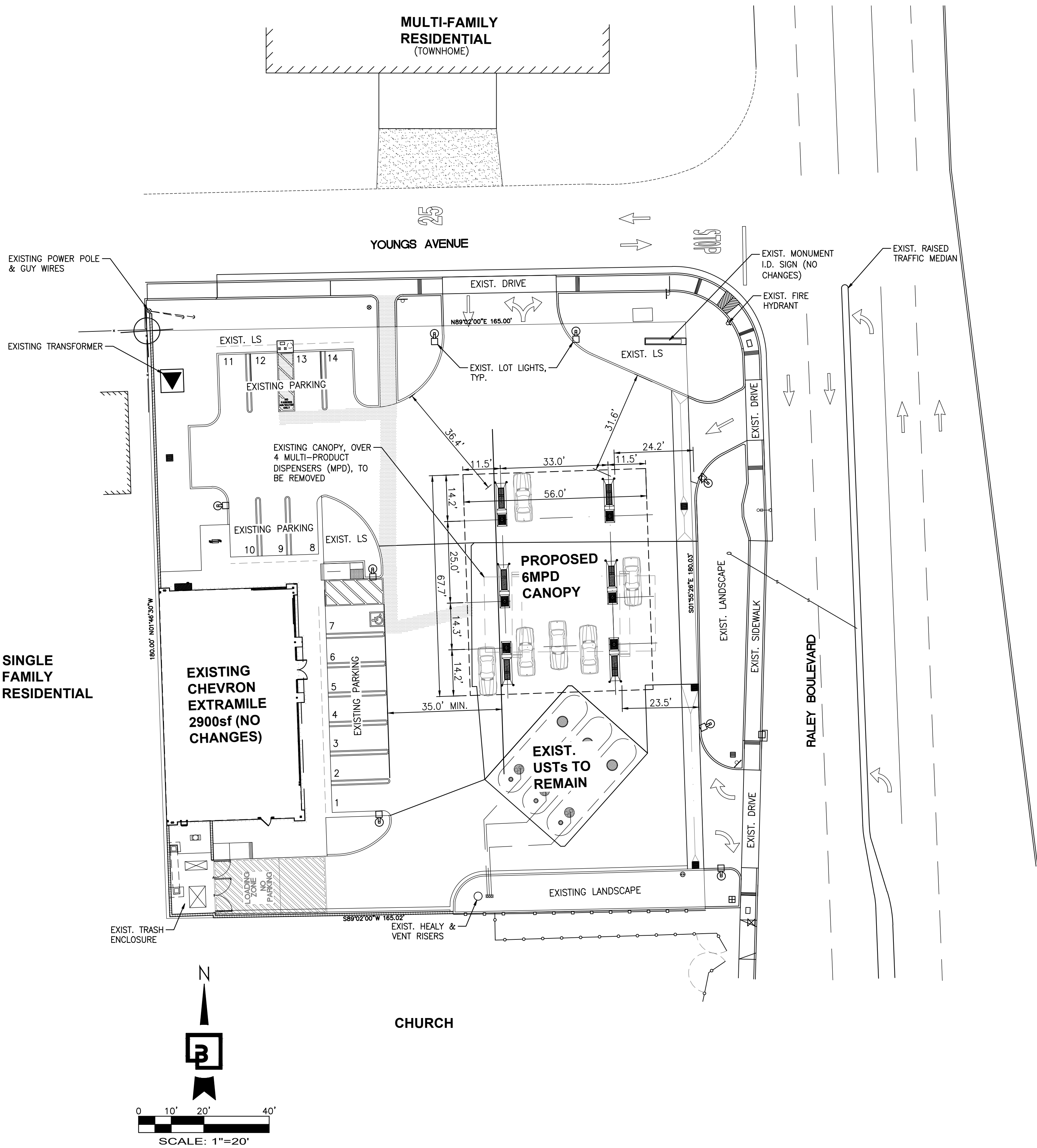
Jose Quintanilla
Associate Planner



Garrett Norman
Senior Planner

The decision of the Zoning Administrator and Design Director may be appealed to the Planning Commission. An appeal must be filed within 10 days of the Zoning Administrator's hearing. If an appeal is not filed, the action of the Zoning Administrator and Design Director is final.

Note: The applicant will need to contact the Public Works Department after the appeal period is over to submit for a Final Map. A discretionary permit expires and is thereafter void if the use or development project for which the discretionary permit has been granted is not established within the applicable time period. The applicable time period is either three years from the effective date of approval of the discretionary permit; or the time specified by the decision-maker, if so stated in a condition of approval of the discretionary permit. A use or development project that requires a building permit is established when the building permit is secured for the entire development project and construction is physically commenced.



VICINITY MAP

SITE DATA

ADDRESS / LOCATION: 4221 RALEY BLVD
SACRAMENTO, CA 95838

PARCEL ID: 23701730360000

MUNICIPALITY: CITY OF SACRAMENTO

PROJECT SITE AREA: ±29,700sf OR 0.682 ACRES

EXISTING FACILITY: 2900sf CONVENIENCE STORE, 24- HOUR ALCOHOL, AND TOBACCO SALES, WITH 8-VEHICLE FUELING POSITIONS.

PROPOSED MODIFICATION: ADD 4-FUELING VEHICLE FUELING POSITIONS WITH FUEL CANOPY REPLACEMENT.

EXISTING ZONING: GENERAL COMMERCIAL (C-2)
OVERLAY COMMUNITY PLAN AREA - NORTH SACRAMENTO

MAPPED CRITICAL AREAS: NONE

USE ANALYSIS:
GASOLINE STATION - PERMITTED WITH CUP - MINOR MODIFICATION
CONVENIENCE STORE - PERMITTED
ALCOHOL SALES - PERMITTED WITH CUP
OPEN 24 HOURS - PERMITTED
TOBACCO RETAILERS LICENSE - CURRENT

SURROUNDING ZONING:
NORTH: STANDARD MULTI-FAMILY (R-1) - ACROSS YOUNGS AVE
SOUTH: STANDARD SINGLE FAMILY (R-1)
WEST: STANDARD SINGLE FAMILY (R-1)
EAST: SINGLE FAMILY ALTERNATIVE (R-1A) - ACROSS RALEY BLVD

SURROUNDING USES:
NORTH: RESIDENTIAL HOME
SOUTH: CHURCH - GURUDWARA
EAST: RESIDENTIAL HOME
WEST: RESIDENTIAL HOME

BULK REGULATIONS:
MINIMUM LOT AREA; NOT SPECIFIED
MINIMUM LOT FRONTAGE; NOT SPECIFIED
MINIMUM FRONT YARD SETBACK; 0- FEET
STREET SIDE YARD SETBACK; 0- FEET
SIDE YARD SETBACK; 5- FEET (ADJACENT TO RESIDENTIAL ZONE)
REAR YARD SETBACK; 15- FEET (ADJACENT TO RESIDENTIAL ZONE)
MAXIMUM SETBACKS; NOT SPECIFIED
MAXIMUM BUILDING HEIGHT; NOT SPECIFIED
MAXIMUM IMPERVIOUS; NOT SPECIFIED
FLOOR AREA RATIO (FAR); NOT SPECIFIED
MAXIMUM BUILDING COVERAGE; NOT SPECIFIED
MAXIMUM LOT COVERAGE; NONE

PARKING:
MINIMUM NUMBER OF SPACES REQUIRED: 1 PER 400sf OF BUILDING
(8 REQUIRED, 14 EXISTING)

LOCATION RESTRICTIONS: ENCOURAGED TO BE AT THE SIDE OR REAR OF BUILDING

STANDARD STALL SIZE: 8.5'x18'

COMPACT STALL SIZE: 8'x15' - UP TO 50% OF ALL REQUIRED VEHICLE PARKING SPACES

LOADING SPACES: NONE REQUIRED FOR BUILDINGS UNDER 10,000sf

BICYCLE PARKING: 1 SPACE PER 5,000gsf OF BUILDING OR 2 SPACES, WHICHEVER IS GREATER

MINIMUM AISLE WIDTH: (2-WAY) 24- FEET

MINIMUM STACKING: NOT SPECIFIED

MAXIMUM DRIVEWAY WIDTH: 35- FEET

LANDSCAPING:
OVERALL LANDSCAPING: NOT SPECIFIED

PERIMETER LANDSCAPING: A 6-FOOT LANDSCAPED PLANTER IS REQUIRED TO SEPARATE ALL SURFACED AREAS FROM THE ADJACENT PUBLIC STREETS.

INTERIOR LANDSCAPING: TREES SHALL BE PLANTED AND MAINTAINED THROUGHOUT THE SURFACE PARKING FACILITY TO ENSURE THAT, WITHIN 15 YEARS, AFTER ESTABLISHMENT OF THE PARKING FACILITY, AT LEAST 50% OF THE PARKING FACILITY WILL BE SHADED.

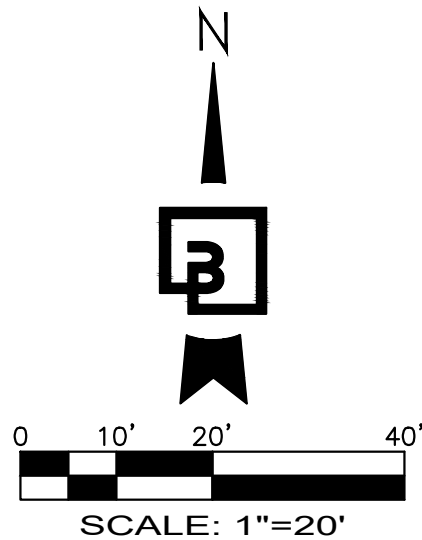
CITY WIDE DESIGN GUIDELINES, SHALL BE FOLLOWED.

CHEVRON 91069
4221 RALEY BLVD
SACRAMENTO, CA 95838

Barghausen
Consulting Engineers, Inc.
18215 72nd Avenue South
Kent, WA 98032
425.251.6222
barghausen.com

Chevron
CHEVRON U.S.A. INC.
6001 BOLLINGER CANYON RD.
SAN RAMON, CA 94583
ph 925.842.1000
www.Chevron.com

DESIGNED BY: cjp DRAWN BY: cjp
CHECKED BY: APPROVED BY:
SCALE: 1"=20'-0" PROJECT NO: 23020
SHEET TITLE:
PRELIMINARY
SITE PLAN
SHEET NO:
PS.1
PAGE NUMBER: 1 of Tot Page



CITY WIDE DESIGN GUIDELINES, SHALL BE FOLLOWED.

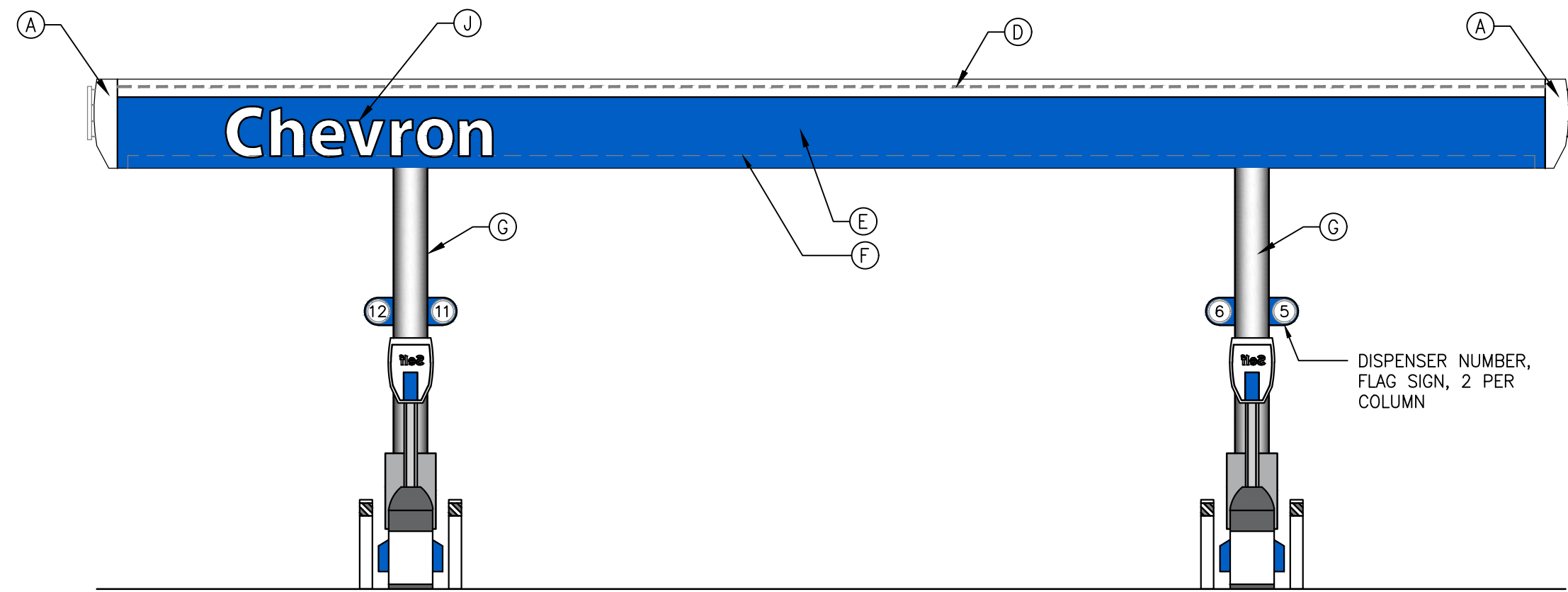
	<p>Location:</p> <p>CHEVRON 91069 4221 RALEY BLVD SACRAMENTO, CA 95838</p>
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SHEET NO:

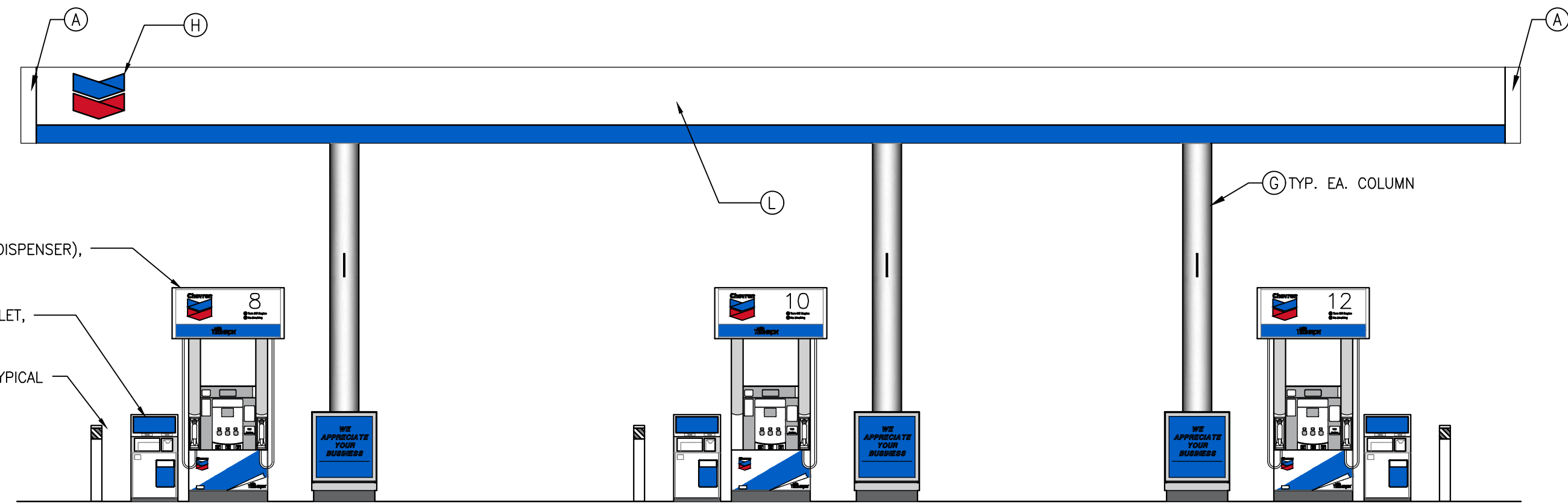
PS.2

PAGE NUMBER: 2 of Tot Page



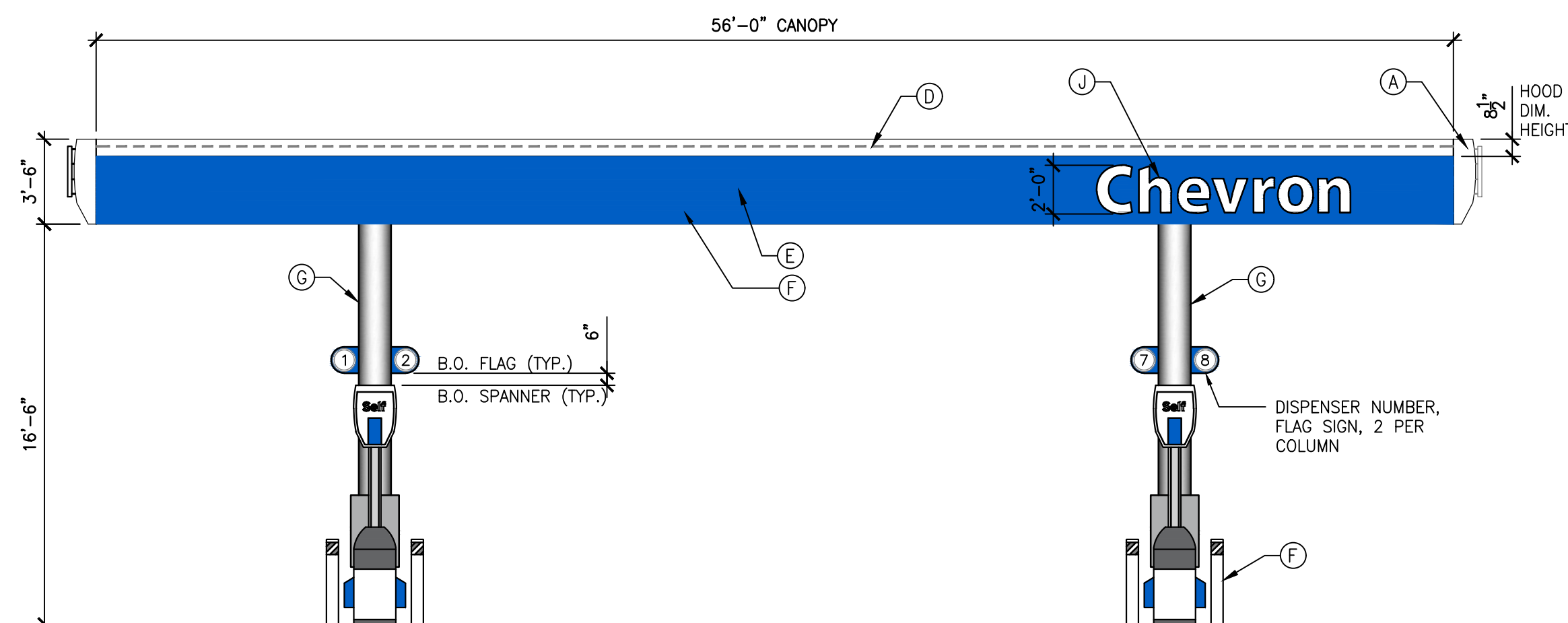
TANDEM 6-MPD - NORTH ELEVATION WITH OVATION DISPENSERS

SCALE: 3/16"=1'-0"



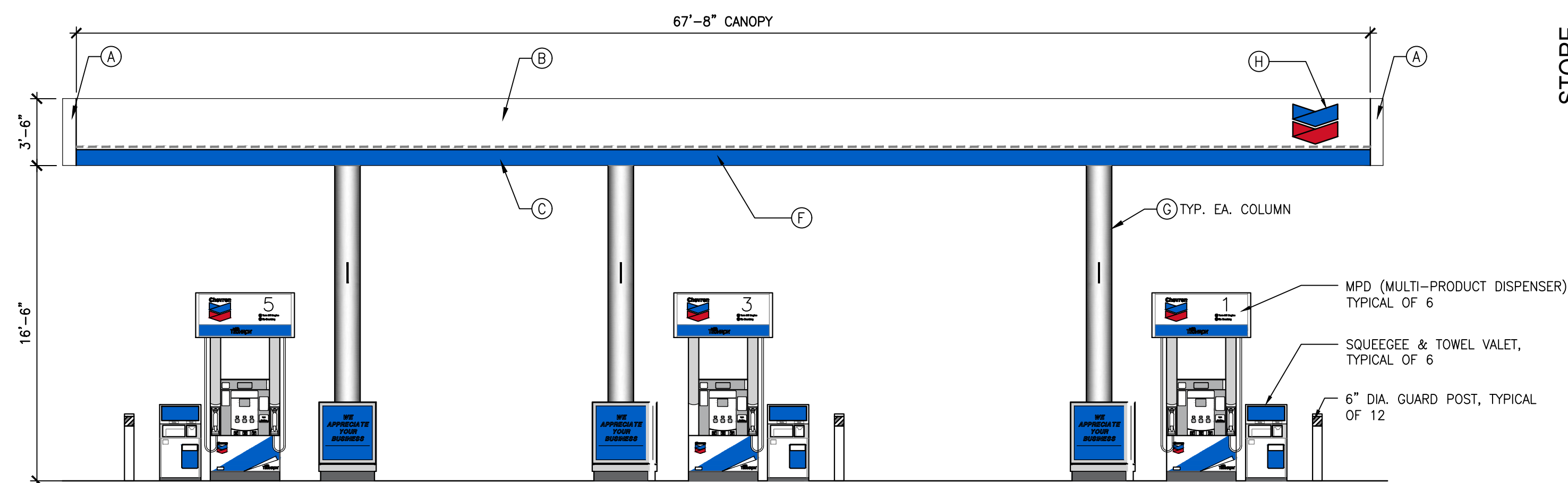
TANDEM 6-MPD - WEST ELEVATION WITH OVATION DISPENSERS

SCALE: 3/16"=1'-0"



TANDEM 6-MPD - SOUTH ELEVATION WITH OVATION DISPENSERS

SCALE: 3/16"=1'-0"

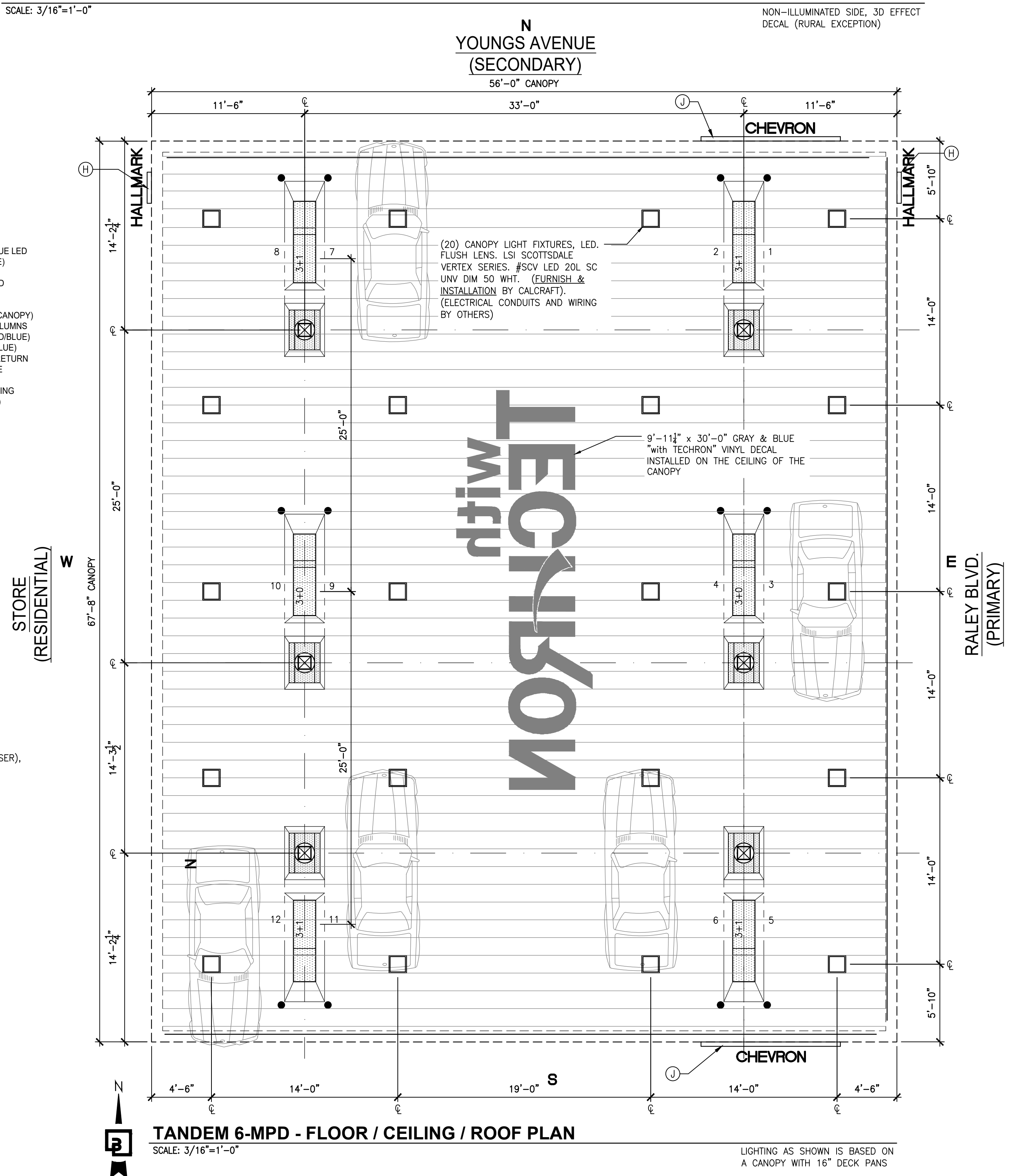


TANDEM 6-MPD - EAST ELEVATION WITH OVATION DISPENSERS

SCALE: 3/16"=1'-0"

COLOR LEGEND

- A FABRICATED ENDCAP (WHITE)
- B BULLNOSED ACM RETURN (WHITE)
- C ACCENT ANGLED BACK, ACM (BLUE) w/ BLUE LED DOWNLIGHT (MOUNTED IN POCKET ABOVE) (PMS-293)
- D BLUE LED DOWNLIGHT FIXTURE (MOUNTED INSIDE WHITE FABRICATED HOOD)
- E ACM FASCIA IN BLUE
- F DECK WHITE (CVX WH-835-S)(CEILING OF CANOPY)
- G CVX SILVER FLAKE (PMS-877) - 16" DIA. COLUMNS INTERNALLY ILLUMINATED HALLMARK (RED/BLUE)
- H INTERNALLY ILLUMINATED WOODMARK (BLUE)
- J WHITE ACM NON-DIMENSIONAL CANOPY RETURN w/ A BLUE VINYL 3D EFFECT DECAL AT THE BOTTOM. (RURAL EXCEPTION)
- M SILVER POLYPROPYLENE COLUMN CLADDING (USE ON REMODELS OR SMALL COLUMNS)



TANDEM 6-MPD - FLOOR / CEILING / ROOF PLAN

SCALE: 3/16"=1'-0"

LIGHTING AS SHOWN IS BASED ON A CANOPY WITH 16" DECK PANS

CHEVRON 91069
4221 RALEY BLVD
SACRAMENTO, CA 95838

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SAN RAMON, CA 94583
ph 925.842.1000
www.Chevron.com

Client: Chevron U.S.A. INC.
Designed By: cjp
Drawn By: cjp
Checked By: none
Approved By: PROJECT NO: 23020
Scale: none
Sheet Title: CANOPY PLAN & ELEVATIONS
Sheet No: CA.1
Page No: 1 of 1



DEVELOPMENT SERVICES
DEPARTMENT

CITY OF SACRAMENTO
CALIFORNIA

PLANNING DIVISION

915 I STREET
NCH, Third Floor
SACRAMENTO, CA
95814-2998

PLANNING
916-808-5656
FAX 916-808-5543

Minor Modification to Previous Approval

FILE NUMBER: Z06-263

PREVIOUS FILE NUMBERS: P98-128

SPECIAL PERMIT X OR PLAN REVIEW

**PROJECT ADDRESS: 4221 Raley Blvd.
Sacramento, CA**

APN: 237-0173-036

**APPLICANT'S NAME & ADDRESS: Jim Southward
RHL Design Group, Inc.
3001 Douglas Blvd, Suite
Roseville, CA 95661**

PROPOSED PROJECT:

The applicant proposes to resurface the existing canopy and signs for a Chevron gas station re-imaging. Changes will include resurfacing a monument, a pole sign and hallmarks signs on the canopy and the gas pumps with new Chevron and "Extra Mile" logos. A new canopy fascia with low wattage LED down lights will be installed along the top length of the canopy and on a shortened spanner above the gas pumps. New trash valets and pump dispenser tags will be installed and new paint will occur on the building accent band and guard post for an existing gas station and convenience market in the General Commercial (C-2) zone.


ANALYSIS & CONDITIONS:

The subject site was previously approved for appropriate planning entitlements (P98-128) and building permits for existing structures and signs. The applicant now requests a minor modification to remodel the existing Chevron gas station and convenience market. The size of the existing building, canopy, and signs will remain the same as before but will have updated materials. Staff supports the change and approves the proposed designs.

Conditions of Approval:

- 1) Number and location of the existing signs and buildings including canopies shall not change from what was previously approved (P98-128).
- 2) The applicant shall substantially conform to the plans submitted.
- 3) The proposed project shall meet the sign ordinance and this approval does not approve new or additional signage.
- 4) The applicant must submit for new sign permits and the signage shall have Planning approval prior to issuance of sign permits.
- 5) The applicant shall obtain all necessary (sign) building permits prior to commencing construction.
- 6) Canopy signage shall be limited to two signs (2 Chevron wordmark's) one per each side of the canopy as shown on submitted plans.
- 7) Detached signage shall be limited to the existing one monument sign and shall not exceed 189.10 total square feet.
- 8) Any other changes or additions shall require additional Planning review and approval.
- 9) The applicant shall comply with all conditions of the previous approval (P98-128).

APPROVED BY: Jamie Cutlip, Assistant Planner



DATE: 4/10/07 FOR: JOY D. PATTERSON, ZONING ADMINISTRATOR

SIGN AREA TABLE

EXISTING SIGNS						PROPOSED SIGNS					
NO.	TYPE	AREA (SQ. FT.)	HEIGHT (FT.)	LOCATION	REMARKS	NO.	TYPE	AREA (SQ. FT.)	HEIGHT (FT.)	LOCATION	REMARKS
1	1	...	...	...	...	...
2	2	...	...	...	...	...
3	3	...	...	...	...	...
4	4	...	...	...	...	...
5	5	...	...	...	...	...
6	6	...	...	...	...	...
7	7	...	...	...	...	...
8	8	...	...	...	...	...
9	9	...	...	...	...	...
10	10	...	...	...	...	...
TOTALS						3610					

EXISTING SIGNS						PROPOSED SIGNS					
1	...	...	...	...	...	1	...	...	...	...	...
2	...	...	...	...	...	2	...	...	...	...	...
3	...	...	...	...	...	3	...	...	...	...	...
4	...	...	...	...	...	4	...	...	...	...	...
5	...	...	...	...	...	5	...	...	...	...	...
6	...	...	...	...	...	6	...	...	...	...	...
7	...	...	...	...	...	7	...	...	...	...	...
8	...	...	...	...	...	8	...	...	...	...	...
9	...	...	...	...	...	9	...	...	...	...	...
10	...	...	...	...	...	10	...	...	...	...	...
TOTALS						3610					

EXISTING SIGNS						PROPOSED SIGNS					
1	...	...	...	...	...	1	...	...	...	...	...
2	...	...	...	...	...	2	...	...	...	...	...
3	...	...	...	...	...	3	...	...	...	...	...
4	...	...	...	...	...	4	...	...	...	...	...
5	...	...	...	...	...	5	...	...	...	...	...
6	...	...	...	...	...	6	...	...	...	...	...
7	...	...	...	...	...	7	...	...	...	...	...
8	...	...	...	...	...	8	...	...	...	...	...
9	...	...	...	...	...	9	...	...	...	...	...
10	...	...	...	...	...	10	...	...	...	...	...
TOTALS						3610					

Z06-263
Received 03-14-07

2

NOT USED

3

NOT USED

4

NOT USED

5 (E) "CHEVRON ID" SIGN
NO SCALE

6 REFACED "CHEVRON ID" SIGN (TYP. OF 2 SIDES)
NO SCALE

7 REFACED HALLMARK HIGH RISE SIGN (TYP. OF 2 SIDES)
NO SCALE

DRAWING INDEX

PROJECT NAME: ...
PROJECT ADDRESS: ...
PROJECT OWNER: ...
PROJECT ENGINEER: ...
PROJECT DATE: ...

PROJECT DIRECTORY
ARCHITECT: ...
ENGINEER: ...
PLANNING: ...

SCOPE OF WORK
1. ...
2. ...
3. ...
4. ...
5. ...

LEGEND AND ABBREVIATIONS
(1) ...
(2) ...
(3) ...

1. ...
2. ...
3. ...
4. ...
5. ...

Chevron
RHL
SHEET A1

1 EXISTING SOUTH ELEVATION (NORTH ELEVATION BUILDING)

3 PROPOSED SOUTH ELEVATION (NORTH ELEVATION BUILDING)

2 EXISTING EAST ELEVATION (WEST ELEVATION BUILDING, NO HALLMARKS)

4 PROPOSED EAST ELEVATION (WEST ELEVATION BUILDING)

5 CHEVRON WORDMARK SIGN

6 CHEVRON HALLMARK SIGN

7 NOT USED

8 CANOPY CORNER DETAIL

COLOR LEGEND	
1	NEUTRAL GRAY
2	WHITE
3	BLACK
4	RED
5	GREEN
6	BLUE
7	BROWN
8	PURPLE
9	PINK
10	YELLOW
11	ORANGE
12	TEAL
13	LIME GREEN
14	MINT GREEN
15	SLATE BLUE
16	NAVY BLUE
17	SLATE GRAY
18	CHARCOAL GRAY
19	BLACK
20	WHITE
21	RED
22	GREEN
23	BLUE
24	BROWN
25	PURPLE
26	PINK
27	YELLOW
28	ORANGE
29	TEAL
30	LIME GREEN
31	MINT GREEN
32	SLATE BLUE
33	NAVY BLUE
34	SLATE GRAY
35	CHARCOAL GRAY
36	BLACK
37	WHITE
38	RED
39	GREEN
40	BLUE
41	BROWN
42	PURPLE
43	PINK
44	YELLOW
45	ORANGE
46	TEAL
47	LIME GREEN
48	MINT GREEN
49	SLATE BLUE
50	NAVY BLUE
51	SLATE GRAY
52	CHARCOAL GRAY
53	BLACK
54	WHITE
55	RED
56	GREEN
57	BLUE
58	BROWN
59	PURPLE
60	PINK
61	YELLOW
62	ORANGE
63	TEAL
64	LIME GREEN
65	MINT GREEN
66	SLATE BLUE
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68	SLATE GRAY
69	CHARCOAL GRAY
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74	BLUE
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76	PURPLE
77	PINK
78	YELLOW
79	ORANGE
80	TEAL
81	LIME GREEN
82	MINT GREEN
83	SLATE BLUE
84	NAVY BLUE
85	SLATE GRAY
86	CHARCOAL GRAY
87	BLACK
88	WHITE
89	RED
90	GREEN
91	BLUE
92	BROWN
93	PURPLE
94	PINK
95	YELLOW
96	ORANGE
97	TEAL
98	LIME GREEN
99	MINT GREEN
100	SLATE BLUE

Chevron

RHL

ARCHITECTURE • ENGINEERING • ENVIRONMENTAL SERVICES

4001 RALEY BLVD
SACRAMENTO, CA
95811

CANOPY ELEVATIONS AND DETAILS

DO NOT USE FOR CONSTRUCTION
USE ONLY FOR REFERENCE AND DATED

DATE: 10/1/2014

BY: J. D. [Signature]

PROJECT: [Signature]

SHEET: A2

		<p>GENERAL NOTES:</p> <ol style="list-style-type: none"> 1. SEE CONTRACT, WORK ORDER, AND PERMITS. 2. SEE DRAWING STANDARD CONSTRUCTION SPECIFICATIONS FOR MATERIALS AND FINISHES. 3. GRADE, WHEN SHOWN, IS INDICATED AS SHOWN TO EXIST. ALL AREAS SHALL BE FINISHED TO EXIST GRADE. 4. ETC. SHALL BE TO BE COMPLETED BY THE CONTRACTOR. 5. ALL WORK SHALL BE APPROVED BY THE CITY ENGINEER BEFORE ANY CONSTRUCTION BEGINS. THE CITY ENGINEER SHALL BE NOTIFIED BY THE CONTRACTOR. 																					
		<p>6 NOT USED</p>																					
		<p>5 EXISTING EXTRA MILE SIGN</p> <p>1/4\"/> </p>																					
		<p>COLOR LEGEND ALL PAINT TO BE BLUE, WHITE, AND GRAY.</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>NAME</th> <th>DESCRIPTION</th> <th>TYPE</th> <th>PAINT</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>PAINT (WHITE-GLOSS)</td> <td>100%</td> <td>WHITE-GLOSS</td> </tr> <tr> <td>2</td> <td>PAINT (WHITE-GLOSS)</td> <td>100%</td> <td>WHITE-GLOSS</td> </tr> <tr> <td>3</td> <td>PAINT (WHITE-GLOSS)</td> <td>100%</td> <td>WHITE-GLOSS</td> </tr> <tr> <td>4</td> <td>PAINT (WHITE-GLOSS)</td> <td>100%</td> <td>WHITE-GLOSS</td> </tr> </tbody> </table> <p>Notes: The Contractor shall be responsible for the quality of the work. The Contractor shall be responsible for the quality of the work. The Contractor shall be responsible for the quality of the work.</p> <p>DO NOT USE FOR CONSTRUCTION UNLESS INKED AND DATED</p> <p>DATE: 1/1/2011</p> <p>BY: [Signature]</p> <p>PROJECT: 401 RAILROAD BLVD, SACRAMENTO, CA</p> <p>SCOPE: EXTERIOR ELEVATIONS</p> <p>SHEET B1</p>		NAME	DESCRIPTION	TYPE	PAINT	1	PAINT (WHITE-GLOSS)	100%	WHITE-GLOSS	2	PAINT (WHITE-GLOSS)	100%	WHITE-GLOSS	3	PAINT (WHITE-GLOSS)	100%	WHITE-GLOSS	4	PAINT (WHITE-GLOSS)	100%	WHITE-GLOSS
NAME	DESCRIPTION	TYPE	PAINT																				
1	PAINT (WHITE-GLOSS)	100%	WHITE-GLOSS																				
2	PAINT (WHITE-GLOSS)	100%	WHITE-GLOSS																				
3	PAINT (WHITE-GLOSS)	100%	WHITE-GLOSS																				
4	PAINT (WHITE-GLOSS)	100%	WHITE-GLOSS																				

RESOLUTION NO. 99-641

ADOPTED BY THE SACRAMENTO CITY COUNCIL

ON DATE OF NOV 9 1999

RESOLUTION ADOPTING THE NOTICE OF DECISION AND FINDINGS OF FACT WHICH GRANTS THE CITY PLANNING COMMISSION'S APPROVAL OF ENTITLEMENTS FOR THE CHEVRON STATION REPLACEMENT PROJECT CONSISTING OF 0.73± ACRES LOCATED IN NORTH SACRAMENTO AT THE SOUTHWEST CORNER OF RALEY BLVD. AND YOUNGS AVE., SACRAMENTO, CA (P98-128) APN 237-0173-036

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF SACRAMENTO THAT:


WHEREAS, the City Council conducted a public hearing on November 9, 1999 and took final action on November 9, 1999 concerning the entitlements for the above project, and based on documentary and oral evidence submitted at the public hearing;

NOW THEREFORE BE IT RESOLVE BY THE CITY COUNCIL OF THE CITY OF SACRAMENTO:

That the attached Notice of Decision and Findings of Fact are hereby adopted for the Chevron Station Replacement.

ATTEST:


CITY CLERK


VICE MAYOR

P98-128

FOR CITY CLERK USE ONLY

Resolution No.: **99-641**

Date Adopted: **NOV 9 1999**

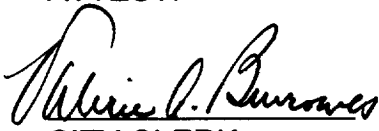
F. Variance for building setback

F1. One hour exterior fire walls will be required along the south and west property lines since the building setback is less than 20 feet to the property lines.

G. Variance for second detached sign.

G1. The pole sign at the corner of Youngs Ave. and Raley Blvd. shall be replaced with an approved monument sign not exceeding 50 square feet of sign area and six feet in height including the monument base before issuance of a building permit.

ATTEST:


CITY CLERK


VICE MAYOR

P98-128

Attachments

Attachment 1

Exhibit 1A	Site Plan
Exhibit 1B	Building Elevations- Front and Back
Exhibit 1C	Building Elevations- Left and Right Sides
Exhibit 1D	Canopy Elevations
Exhibit 1E	Floor Plan
Exhibit 1F	Landscape Plan

RESOLUTION NO. 39-641

NOV 9 1999

**NOTICE OF DECISION AND FINDINGS OF FACT FOR
CHEVRON STATION #9-1069 @ 4221 RALEY BLVD.
SACRAMENTO, CALIFORNIA IN THE GENERAL COMMERCIAL ZONE.
(P98-128)
APN: 237-0173-036**

The City Planning Commission heard and considered evidence in the above entitled matter at the regular meeting of September 23, 1999. Based on verbal and documentary evidence at said hearings, the Planning Commission approved said entitlements.

Pursuant to the provisions of the City's Comprehensive Zoning Ordinance, Chapter 7, Section 2-D, the Councilmember from District 2 "called-up" the above entitlements to be considered by the City Council.

The City Council conducted a public hearing on November 9, 1999 to consider the entitlements. Based on verbal and documentary evidence at said hearing, the City Council took the following actions for the location listed above:

- a. Exempt pursuant to CEQA Section 15302 (b);
- B. Approved of the Rezone for 0.73± developed acres from Highway Commercial (HC) zone to General Commercial-Review (C-2R) zone and forwarded to City Council;
- C. Approved the Plan Review to construct a gasoline station/ convenience market in the General Commercial- Review (C-2R) zone;
- D. Approved the Special Permit to operate a 24 hour convenience market within 500 feet of a residential area on 0.73± developed acres;
- E. Approved the Special Permit to sell beer and wine for offsite consumption;
- F. Approved the Variance to reduce the required minimum interior sideyard setback from 7.5 feet to one foot.
- G. Approved the Variance to allow two free standing signs within 300 feet of one another on the same parcel.

These actions were made based upon the following findings of fact and subject to the following conditions:

RESOLUTION NO. 99-641
NOV 9 1999

FINDINGS OF FACT

- A. **Categorical Exemption:** the City Council finds and determines that the proposed project is exempt from environmental review pursuant to Section #15302 (b) of the CEQA Guidelines.
- C. **Plan Review** to construct a gasoline station/ convenience market in the General Commercial- Review (C-2R) zone
1. The Plan Review, as conditioned, is granted upon sound principles of land use in that:
 - a. The proposed development is consistent with the General Plan and the North Sacramento Community Plan;
 2. The Plan Review, as conditioned, will comply with zoning code requirements, in that:
 - a. The property involved is of adequate size and shape to accommodate the proposed use;
 - b. The building and fuel canopy meet the required building coverage, setback, and parking area.
 3. The Plan Review, as conditioned, will not be detrimental to the public health and welfare in that:
 - a. The facilities, including utilities, driveways, sanitation and drainage meet the City standards.
- D. **Special Permit** to operate a 24 hour convenience market within 500 feet of a residential area on 0.73± developed acres in the General Commercial (C-2) zone;
1. The Special Permit, as conditioned, is granted upon sound principles of land use in that:
 - a. 24 hour commercial uses within 500 feet of a residential district are permitted uses in the C-2R zone subject to the granting of a Special Permit by the City Planning Commission; and
 - b. Sufficient parking is available for employees, and visitors.

- c. The project will utilize a commercially built location.
 - d. The project will not adversely affect the surrounding land uses.
 - 2. The Special Permit as conditioned, will not be detrimental to the public health, safety or welfare, or result in the creation of a nuisance in that:
 - a. The operation of the 24 hour convenience market would be in accordance with the Police Department requirements;
 - b. The operation of the 24 hour convenience market would meet the concerns of the surrounding residential community;
 - 3. The Special Permit as conditioned, complies with the objectives of the General and North Sacramento Community Plan in which it is to be located in that:
 - a. The project will not alter the present or anticipated density of the subject site or region; and
 - b. The project will carry out the goals of the Sacramento General Plan and North Sacramento Community Plan.
- E. **Special Permit to sell beer and wine for offsite consumption.**
- 1. The Special Permit, as conditioned, will not be detrimental to the public health, safety or welfare, or result in the creation of a nuisance in that:
 - a. The owners will limit the hours of the sale of beer and wine.
 - b. The owner will control how the beer and wine will be sold to avoid the possibility of loitering on the premises.
 - c. The owner will meet the requirements of the Police Department.
- F. **Variance to reduce the required minimum interior sideyard setback from 7.5 feet to one foot.**
- 1. The Variance, as conditioned, shall not extend a special privilege to the property owner in that:

- a. Proper building design would include one hour exterior fire walls.
 2. The Variance, as conditioned, will not be injurious to the public welfare, nor to property in the vicinity of the applicant in that:
 - a. The building setback would prevent unwanted activity from occurring behind the building, as is presently the case.
 - b. A one hour fire would be provided as required by the Building Code.
 3. The Variance, as conditioned, is in harmony with the general purpose and intent of the Zoning Ordinance and will not affect the General Plan or North Sacramento Community Plan in that:
 - a. The proposed remodeled use would be an improvement to the surrounding area.
 - b. The proposed remodeled use is in conformity with the goals and policies of the Sacramento General Plan and the North Sacramento Community Plan.
- G. **Variance** to allow two free standing signs within 300 feet of one another on the same parcel.
1. The Variance, as conditioned, shall not extend a special privilege to the property owner in that:
 - a. There are presently two pole signs on the property.
 2. The Variance, as conditioned, will not be injurious to the public welfare, nor to property in the vicinity of the applicant in that:
 - a. The one detached sign at the street corner would be a monument sign which would have less light, glare and visual intrusion on the surrounding neighborhood.
 - b. The new sign would be required to comply with the Building Code
 1. The Variance, as conditioned, is in harmony with the general purpose and intent of the Zoning Ordinance and will not affect the General Plan or

North Sacramento Community Plan in that:

- a. The proposed monument sign would be an improvement to the surrounding area.

CONDITIONS OF APPROVAL

The Plan Review, Special Permits and Variance are hereby approved subject to the following conditions:

C. Plan Review

Planning

- C1. The applicant shall provide bicycle security racks at the front of the business.
- C2. The parking areas must be visible for internal monitoring. Where windows are not appropriate for this purpose, closed circuit television shall be used. The type and location of the cameras shall meet the satisfaction of the Police Department.
- C3. All landscaping shall be maintained as at a minimum plant and/or shrub height of 30 inches and trees maintained at a minimum distance of 6 feet from lowest branch to the ground.
- C4. Decorative planting shall be maintained as not to obstruct or diminish lighting level throughout project.
- C5. The owner/operator of the convenience store/gas station shall not allow non-customers to gather or loiter in or around the convenience store/gas station.
- C6. Applicant shall sign an agreement delegating the sworn employees of the Sacramento Police Department to act as applicant's agents for the sole purpose of enforcing Section 602 (k) of the California Penal Code and that applicant agrees to properly post project property, aid in the investigation and prosecution of such cases. The posting shall consist of notices, in block letters: NO TRESPASSING VIOLATORS WILL BE PROSECUTED UNDER 602 (K) C.P.C.
- C7. The owner/operator shall be responsible for the removal of all litter

generated by this business. The business premises shall be patrolled once a day for trash/litter.

- C8. The owner/operator of the convenience store/gas station shall be responsible for abatement/removal of any and all graffiti on the property within 48 hours. Neighborhood Services Department is available to assist the operator by providing information for preventative measures to reduce the occurrence of graffiti. Graffiti shall mean any unauthorized inscription, work, figure, or design that is marked, etched, scratched, drawn, or painted on or otherwise affixed to or on any surface.
- C9. The owner/operator of the convenience store/gas station shall maintain the grounds and landscaping areas in a clean, weed free and groomed manner. Landscaping shall be replaced with live, healthy plants, trees and grass as needed if original landscaping dies.
- C10. The proposed new convenience store shall not be less than 40 feet to the existing vehicle fuel dispensing station canopy.
- C11. Store windows shall be left unobstructed to all viewing of the interior of the business by patrolling police.
- C12. Increase the height of the berm in front and to the sides of the air/ water station facing Youngs Ave. from two feet to three feet.
- C13. The parapet wall on the west side of the building shall be as tall as the other three parapet walls or taller in order to hide the mechanical equipment and provide noise attenuation to adjacent residential unit to the west.

Public Works

- C14. Repair or replace existing deteriorated curb, gutter and sidewalk to the satisfaction of the Department of Public Works.
- C15. Applicant shall remove the two parallel parking spaces located adjacent to the southern property line.
- C16. Applicant shall remove the western most parking space adjacent to the store.
- C17. Applicant shall reduce the width of the existing driveway on Raley

Boulevard near Youngs Avenue to 45' 18' and make it an entrance only driveway by angling the throat area of the driveway and by appropriate signing and striping. The driveway shall be reconstructed to the satisfaction of the Department of Public Works.

- C18. Applicant shall comply with A.D.A. requirements in all respects.
- C19. All new driveways shall be constructed to City Standards to the satisfaction of the Department of Public Works.
- C20. The applicant shall construct a median on Raley Boulevard adjacent to the subject site. The median shall consist of a left-turn pocket from Raley Boulevard onto Youngs Avenue at its northern end and shall extend to the southern property line of the subject site. The median shall be designed and constructed to the satisfaction of the Department of Public Works.
- C21. The applicant shall coordinate with the property owner to provide an Irrevocable Offer of Dedication for the additional right-of-way required for the future widening of Raley Boulevard (approximately 10') to the satisfaction of the Department of Public Works.

Advisory Note:

Advisory Note: Modifications to the existing street lighting system in the area may need to be part of the improvement plans due to any proposed improvements within the right of way.

Utilities

- C21. Stormwater quality control measures as specified in the draft "Best Management Practice Guide for Retail Gasoline Outlets" dated March, 1997 shall be incorporated into the development to minimize the increase of urban runoff pollutants and non-stormwater discharges.
- C22. These measures may affect site design and site configuration and therefore, should be considered during the early planning stages. Improvement plans must include source control measures.
- C23. The applicant must comply with the City of Sacramento's Grading, Erosion and Sediment Control Ordinance. This ordinance will require the applicant to prepare erosion and sediment control plans for both during and after construction of the proposed project, prepare preliminary and final grading plans, and prepare plans to control urban runoff pollution

from the project site during construction.

- C24. An on-site surface drainage system is required and shall be connected to the street drainage system by means of a storm drain service tap. All on-site systems shall be designed to the standard for private storm drainage systems (per Section 11.12 of the Design and Procedures Manual).
- C25. The pad elevation for the convenience store shall be set based on the following guidelines:
 - a. A minimum of one (1) foot above the highest adjacent back of curb grade;
 - b. Overland release in the general area, and
 - c. Conformity to existing adjacent pad elevations.
- C26. The finished floor elevation of the convenience store shall be 0.50 feet above the pad elevation.

D. Special Permit for 24 hour operation

- D1. Two employees shall be working at the store at all times.
- D2. Lighting levels shall be as follows: 1.5 foot-candles of minimum maintained illumination per square foot of parking space between the hours of dusk and one hour after sunrise. A minimum of .25 foot-candles of illumination per square foot at the surface of any walkway, alcove, passageway related to the project during the same hours.
- D3. The following minimum security standards shall be incorporated into the interior design of the building:
 - a. Cashier station shall be raised to provide a noticeable height advantage to employees.
 - b. Mirrors or closed circuit television will be placed in such a manner as to provide employees with the ability to observe all hidden corners and blind spots.

- c. Cold boxes shall be equipped with an audible enunciator to alert employees when the doors are opened.
 - d. The facility shall be equipped with UL approved money safes. Signs shall be prominently posted stating that employees do not have access to the safe.
 - e. The facility shall be equipped with remote locking devices to enable public entry doorway to be locked from cashier station.
- D4. A sign indicating a 24 hour emergency phone number and contact person shall be kept current and posted on the building.
- D5. The management and employees will not allow loitering on the premises.
- D6. The owners will meet the requirements of the Police Department.
- D7. All illegal activities observed on or around the business shall be promptly reported to the Police Department.
- D8. The applicant shall provide two working toilet facilities for use by the public. These rest rooms must be self-locking and the key must be available from the employees. Extra keys must be available in case of an emergency. Locks may be of the electronic remote control type. Interior rest rooms must be visible to attendants.
- D9. Any and all pay telephones at this site shall be located in the Store's interior with adequate signage to direct Public to telephone. No external phones at this site.

E. Special Permit for Beer and Wine

- E1. Licensee shall post and maintain on the premises and in the parking lot used in conjunction therewith notices clearly visible to the patrons of the licensee and parking lot and to persons on the public sidewalk stating, in block lettering, the following: "UNLAWFUL TO ENTER, BE OR REMAIN ON ADJACENT PARKING LOT OR ADJACENT PUBLIC SIDEWALK WITH AN OPEN ALCOHOLIC BEVERAGE CONTAINER. B & P Code 25612.5; C.P.C. 647E(A); S.C.C. 26.24(c)".
- E2. Beer and wine products shall be secured during the hours of 11pm. and 6am.

- E3. Beer and wine shall be allowed between the hours of 6am and 11pm subject to the following conditions:
- a. All public telephones must be maintained in a manner consistent with City ordinances regulating pay telephones. This telephone is to be limited to outgoing call only.
 - b. Applicant shall work with the Licensing Coordinator of the Police Department to ensure that the property is posted for "No Loitering" in accordance with 602 (k) P.C. An agreement is to be filed with the Police Department which will allow officers to remove loiterers and applicants agreement to prosecute.
 - c. Two employees shall be working at the store from opening until closing everyday.
 - d. Alcoholic beverages may not be sold between the hours of 11pm and 6am.
 - e. Beer will not be sold in single containers, including quart and liter containers.
 - f. Signs listing conditions (i) through (v) shall be posted conspicuously inside the store.
 - g. The sale of alcohol shall be limited to beer and wine only, no hard liquor sales allowed.
 - h. The word beer, wine or liquor shall not appear in the name or on any signs.
 - i. No advertising of beer or wine sales shall be allowed on exterior signs or window signs on the site.
 - j. Wine coolers shall not be sold in quantities of less than factory packs of four.
- E4. There will be no sale of beer or wine between the hours of 11:00 p.m. and 6:00 a.m.
- E5. The doors on the beer and wine cooler area will be automatically locked at 11:00 p.m. and remain locked until 6:00 a.m.

Exhibit 1A
Site Plan

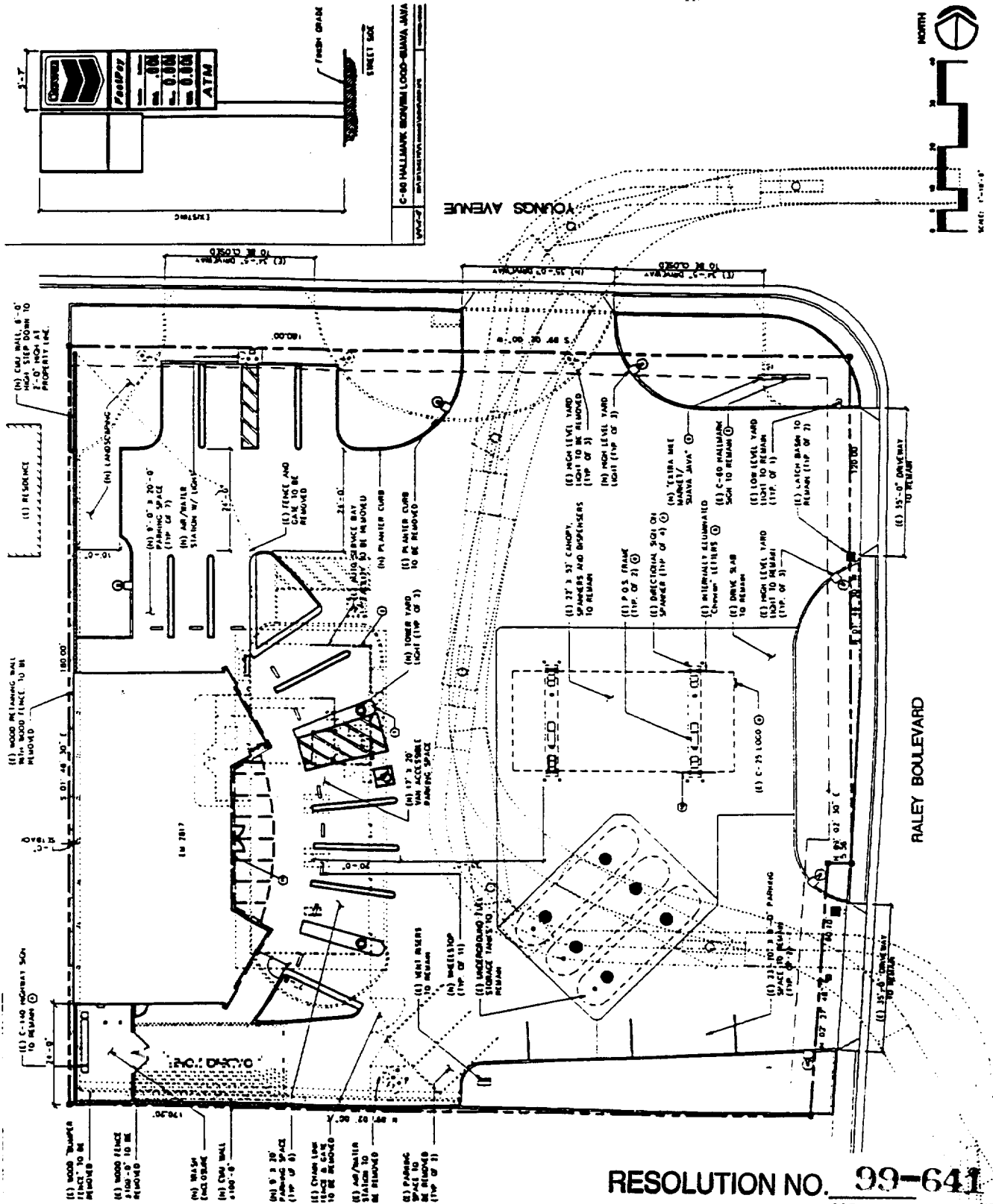
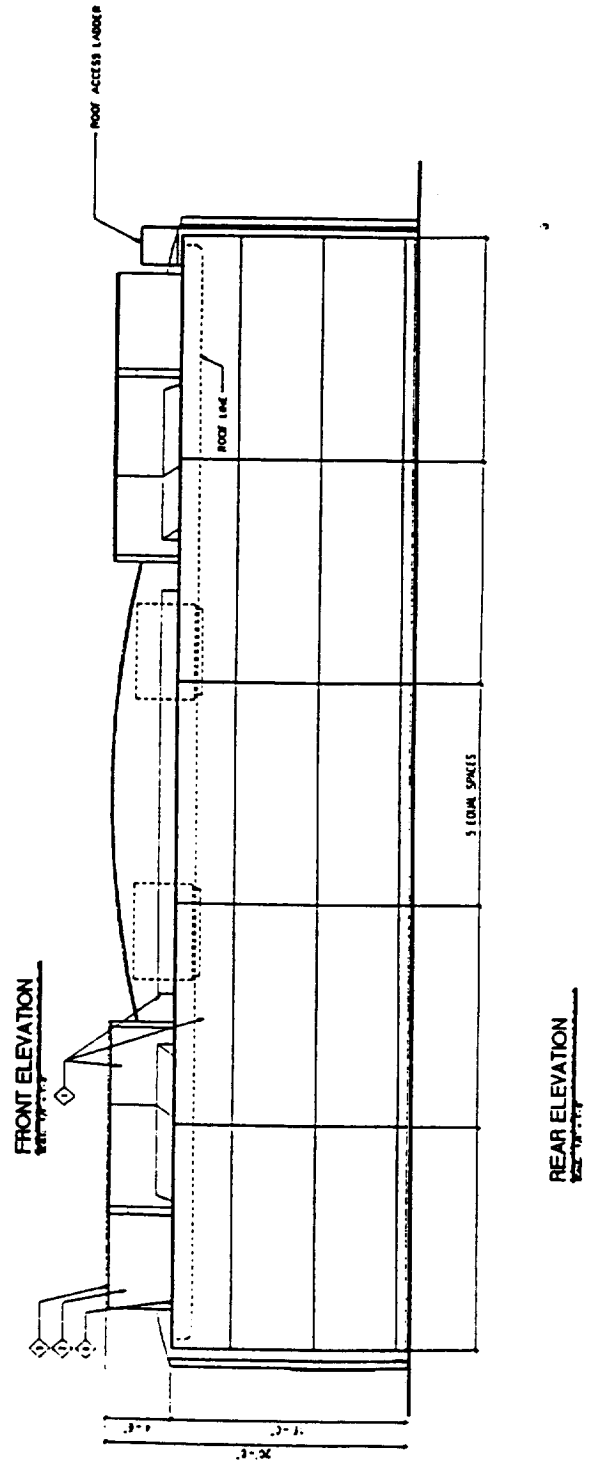
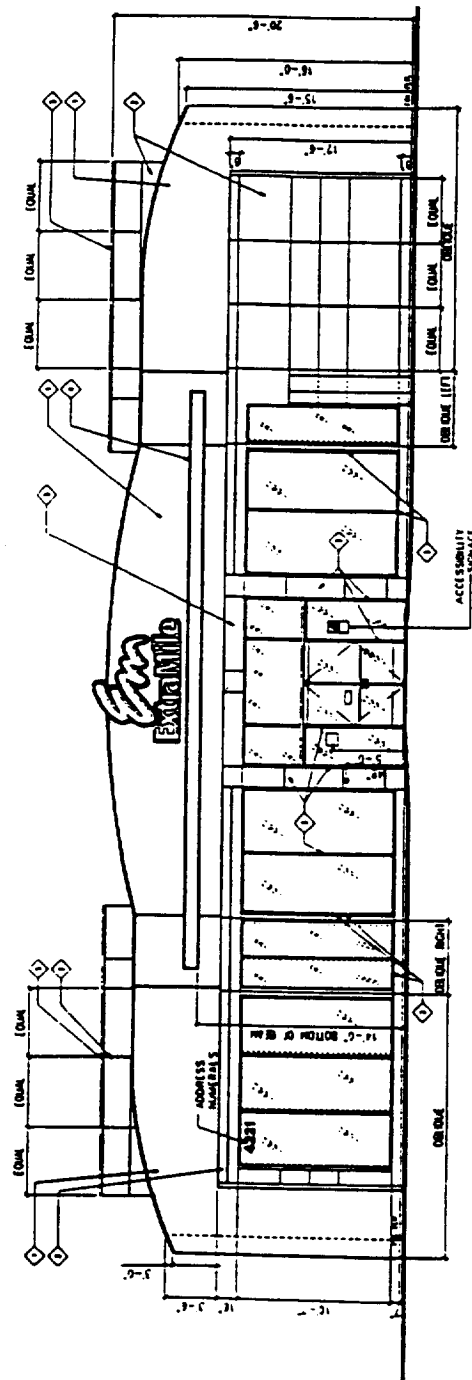


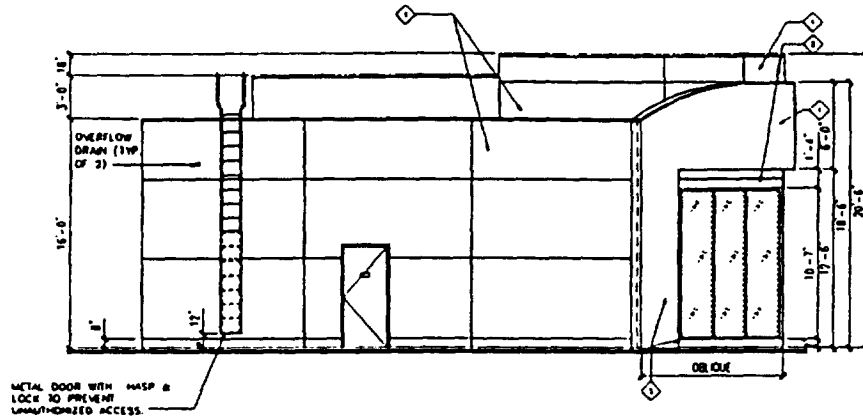
Exhibit 1B
Front and Back Elevations



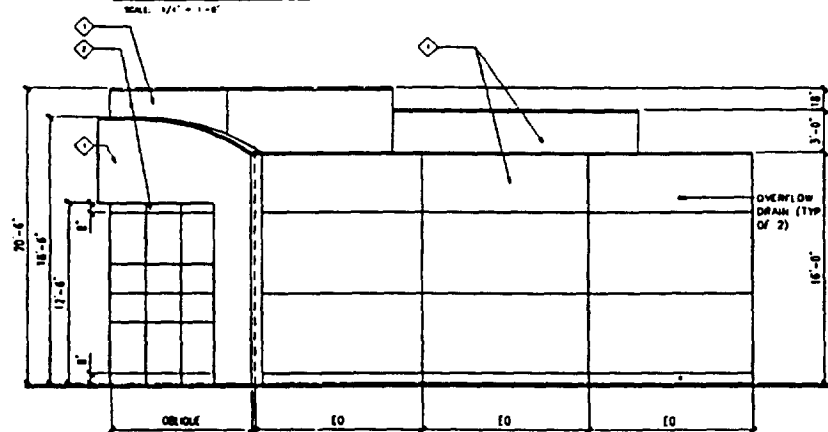
RESOLUTION NO. 99-641

NOV 9 1999

Exhibit 1C
Left and Right Elevations



LEFT ELEVATION



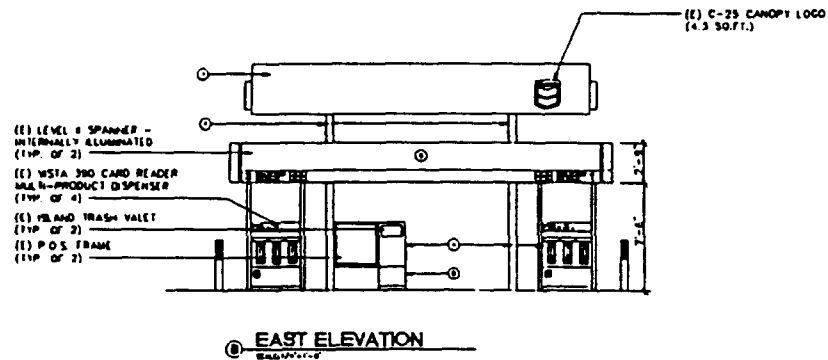
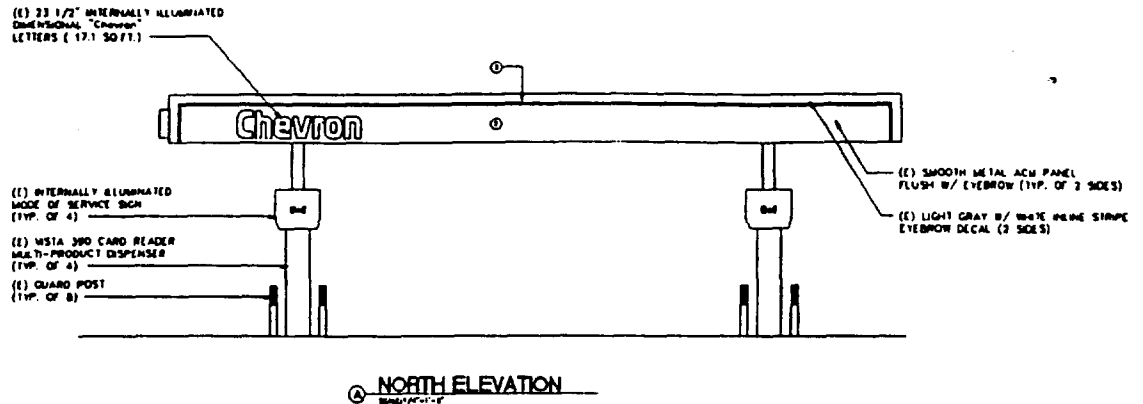
RIGHT ELEVATION

RESOLUTION NO. 99-641

NOV 9 1999

Notice of Decision/ Finding of Fact
P98-128

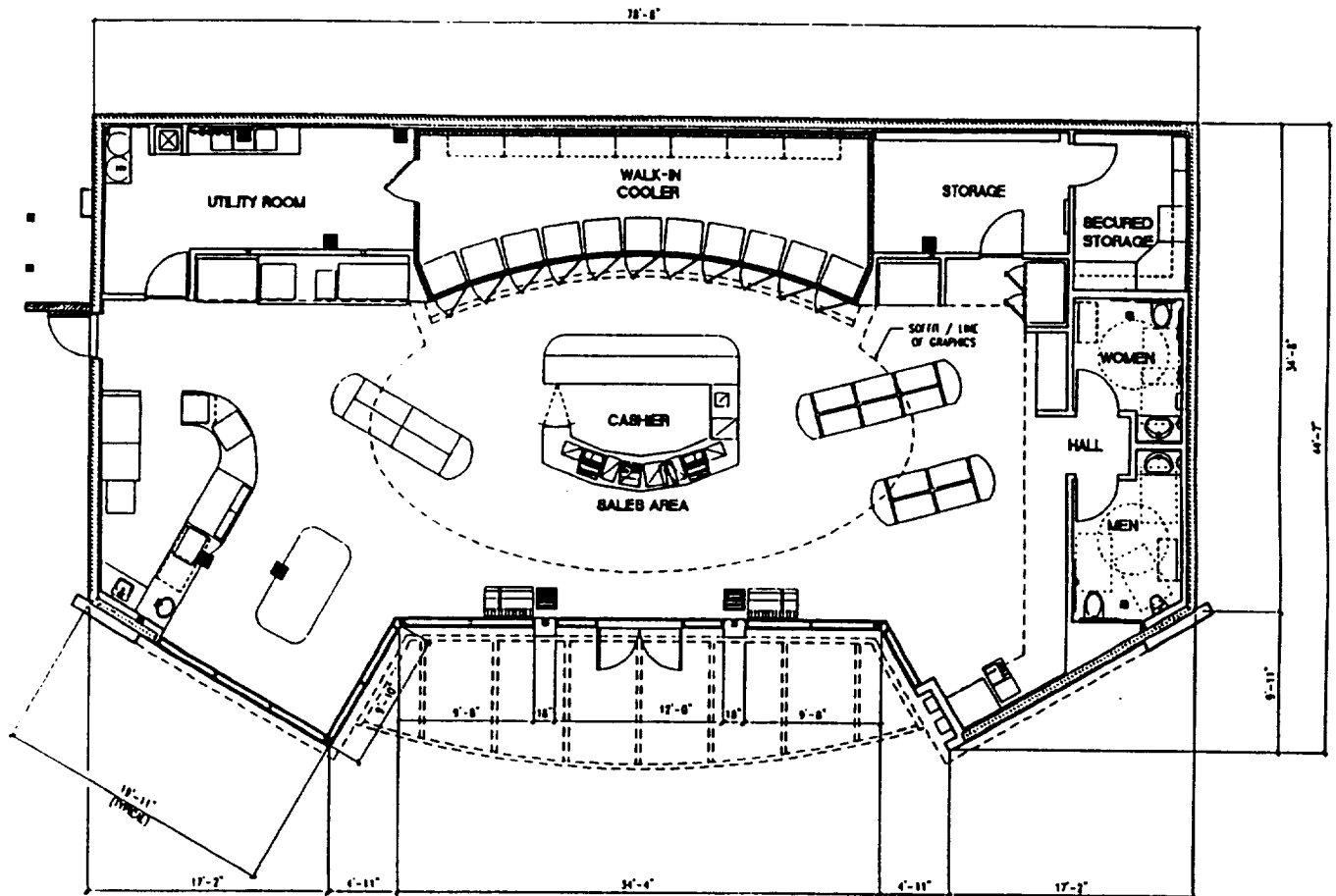
Exhibit 1D
Canopy Elevations



RESOLUTION NO. 99-641

NOV 9 1999

Exhibit 1E
Floor Plan



WALL LEGEND
8"x8"x16" CONCRETE MASONRY UN
2x4 WALLS
3 1/2" INSULATED COOLER WALLS

RESOLUTION NO. 33-641

NOV 9 1999

